



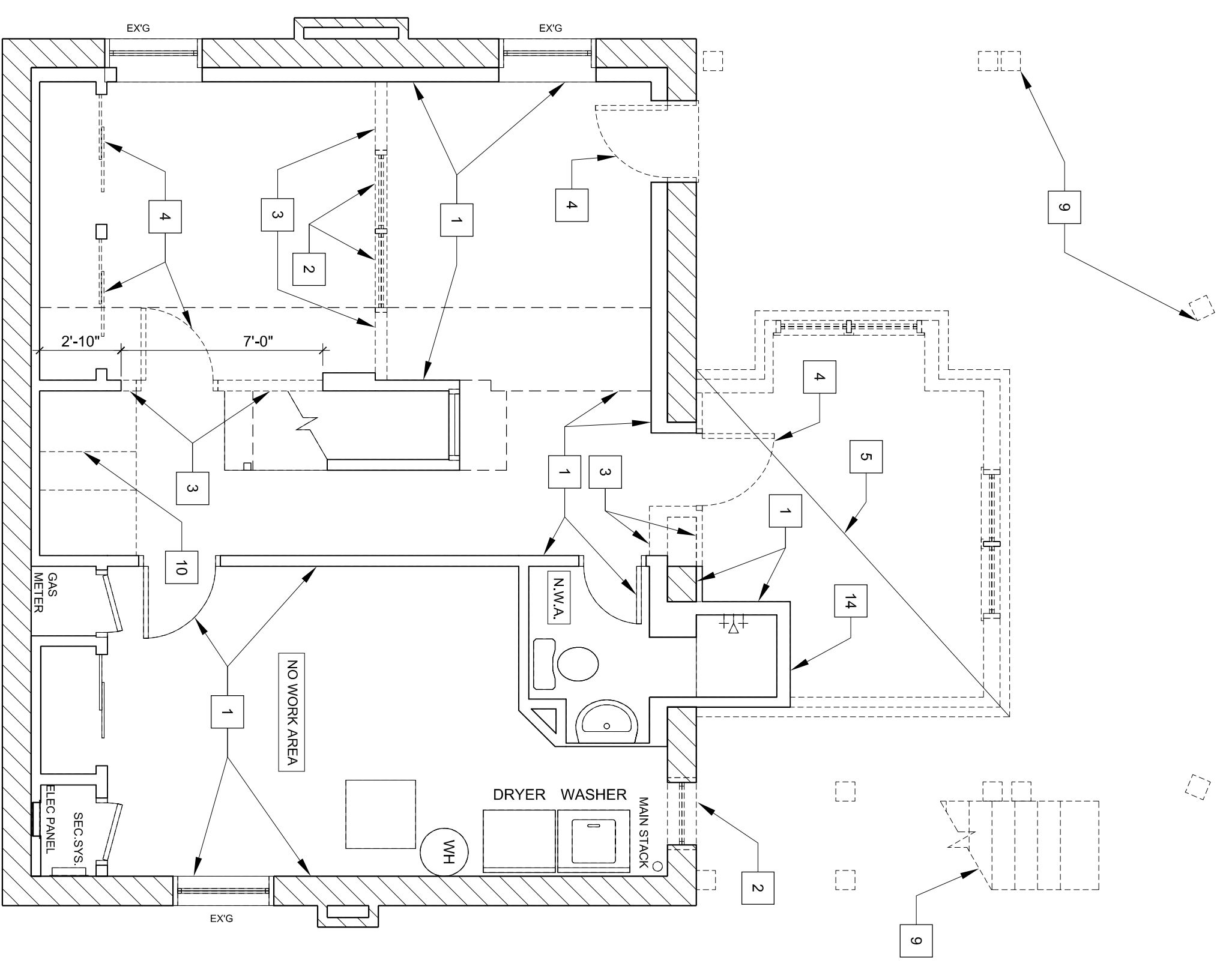
THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.

### WINDOW SCHEDULE

TAG	QTY	MANUF.	APPROX. UNIT SIZE	HEAD GLASS HEIGHT	SAFETY RECED	EGRESS RECED	REMARKS	TAG
A	6	ANDERSEN	32	60	(2) YES, (4) NO	NO	DH 200 SERIES TILT-WASH 244DH2850	A
B	2	ANDERSEN	32	42	NO	NO	DH 200 SERIES TILT-WASH 244DH2838	B
C	2	ANDERSEN	32	53 3/8	NO	NO	CSMT 400 SERIES CX145	C
D	9	ANDERSEN	32	66	NO	NO	DH 200 SERIES TILT-WASH 244DH2856	D
E	1	ANDERSEN	32	54	NO	NO	DH 200 SERIES TILT-WASH 244DH2846	E
F	1	ANDERSEN	36	57	YES	YES	DH 200 SERIES TILT-WASH 244DH3049	F

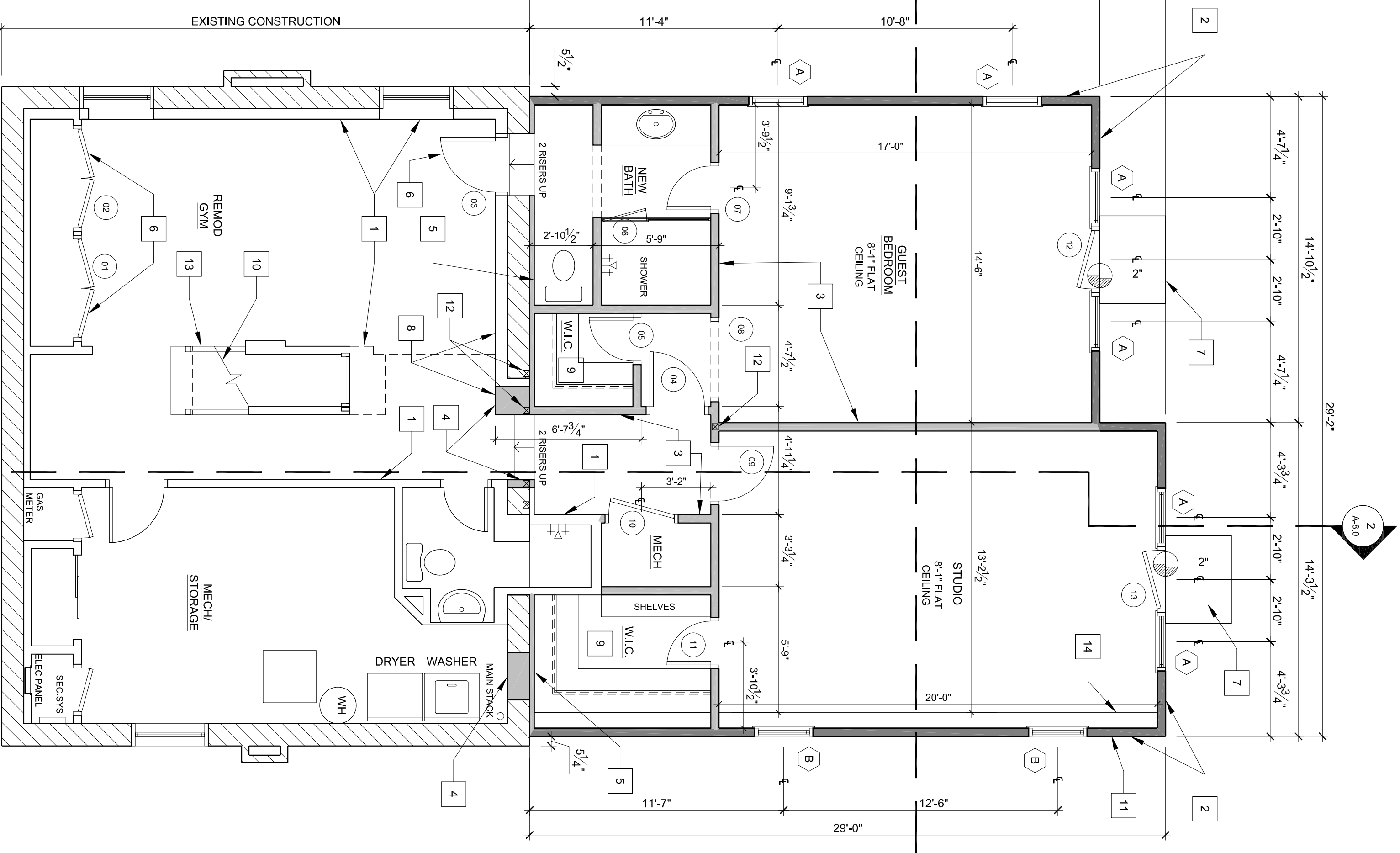
### DOOR SCHEDULE

TAG	SIZE	W/H	REMARKS	TAG
01	2 @ 27	x 77	INTERIOR - PAIR IN EXG OPG	
02	2 @ 27	x 77	INTERIOR - PAIR IN EXG OPG	
03	30	x 81	INTERIOR	
04	30	x 80	INTERIOR	
05	24	x 80	INTERIOR	
06	24	x 72	SHOWER	
07	24	x 80	INTERIOR	
08	42	x 80	CASED OPG	
09	30	x 80	INTERIOR	
10	36	x 80	INTERIOR	
11	24	x 80	INTERIOR	
12	32	x 80	EXTERIOR - FRENCH	
13	32	x 80	EXTERIOR - FRENCH	
14	2 @ 18	x 80	INTERIOR - PAIR	
15	28	x 80.5	INTERIOR	
16	32	x 80.5	INTERIOR - POCKET	
17	2 @ 30	x 80	INTERIOR - POCKET PAIR	
18	30	x 80	EXTERIOR - FRENCH	



- #### ALL FLOOR PLANS DEMO NOTES:
- EXISTING WALL, DOOR, WINDOW OR OTHER ITEM TO REMAIN.
  - DEMO AND REMOVE EXG WDW
  - DEMO AND REMOVE EXG WALL
  - DEMO AND REMOVE EXG DOOR
  - DEMO AND REMOVE ENTIRE 3 STORY EXG ADDITION
  - DEMO & REMOVE ENTIRE KITCHEN, APPLIANCES, CABINETS AND COUNTER TOPS. REUSE PER CLIENTS INSTRUCTIONS
  - DEMO AND REMOVE EXT STOOP AND STEPS P/S
  - DEMO AND REMOVE EXG WALL TO CREATE NEW ARCHED OPENING AND STAIRS
  - DEMO AND REMOVE VAULTED CEILING
  - CUT EXG CLG AND ROOF PARTS PER DETAIL
  - EXG SIKTLIGHT SHAFT TO REMAIN
  - CLIPPED CLG LINE
  - CUT EXG SLAB @ SHOWER WALLS AND PROVIDE EDMS NEEDED

- #### BASEMENT PLAN NOTES:
- EXISTING WALL, DOOR, WINDOW OR OTHER ITEM TO REMAIN.
  - NEW EXT W/D FRM WALL : 2x4 @ 16" OC W/ R 13 F-GLOSS INSULATION
  - NEW INT W/D FRM WALL : 2x4 @ 16" OC
  - FILL IN WALL W/ MATCHING FINISHES
  - 1 1/2" PADDED WALL
  - REPLACEMENT DOORS IN EXG DOOR OPS
  - 3-4" X 4-4" CONC STOOP
  - CRITICAL ALIGNMENTS/ ALIGN WALL, FLOOR OR OTHER FINISHES
  - 1 SHELF, 1 ROD
  - EXG STAIRCASE TO REMAIN
  - TYP EXG WALL ON TOP OF 8" CMU WALL. TO CMU WALL = 4x6" SEE DETAIL BA-410
  - POST LOCATION
  - NEW RAILING TO MATCH EXG DETAIL BA-410
  - 2x6 SHORT WALL BELOW.

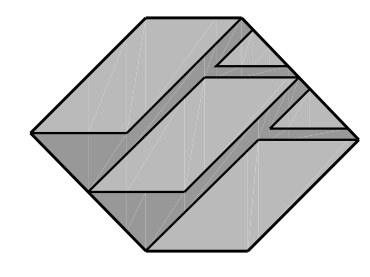


**2** BASEMENT PLAN W/ DEMO  
1/4" = 1'-0"

**1** BASEMENT PLAN  
1/4" = 1'-0"

ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACES

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**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING

**VELIC RESIDENCE**  
BORIS & YUZANA  
3618 LIVINGSTON STREET NW  
WASHINGTON DC, 20015  
DISTRICT OF COLUMBIA

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PHASE	DATE
DESIGN	2-22-12
STRUCT. REV.	0
PERMIT REV.	0
PERMIT	4-10-12

REVISIONS  
X-1-C  
OR AS NOTED

**BASEMENT PLAN AND DEMO PLAN**

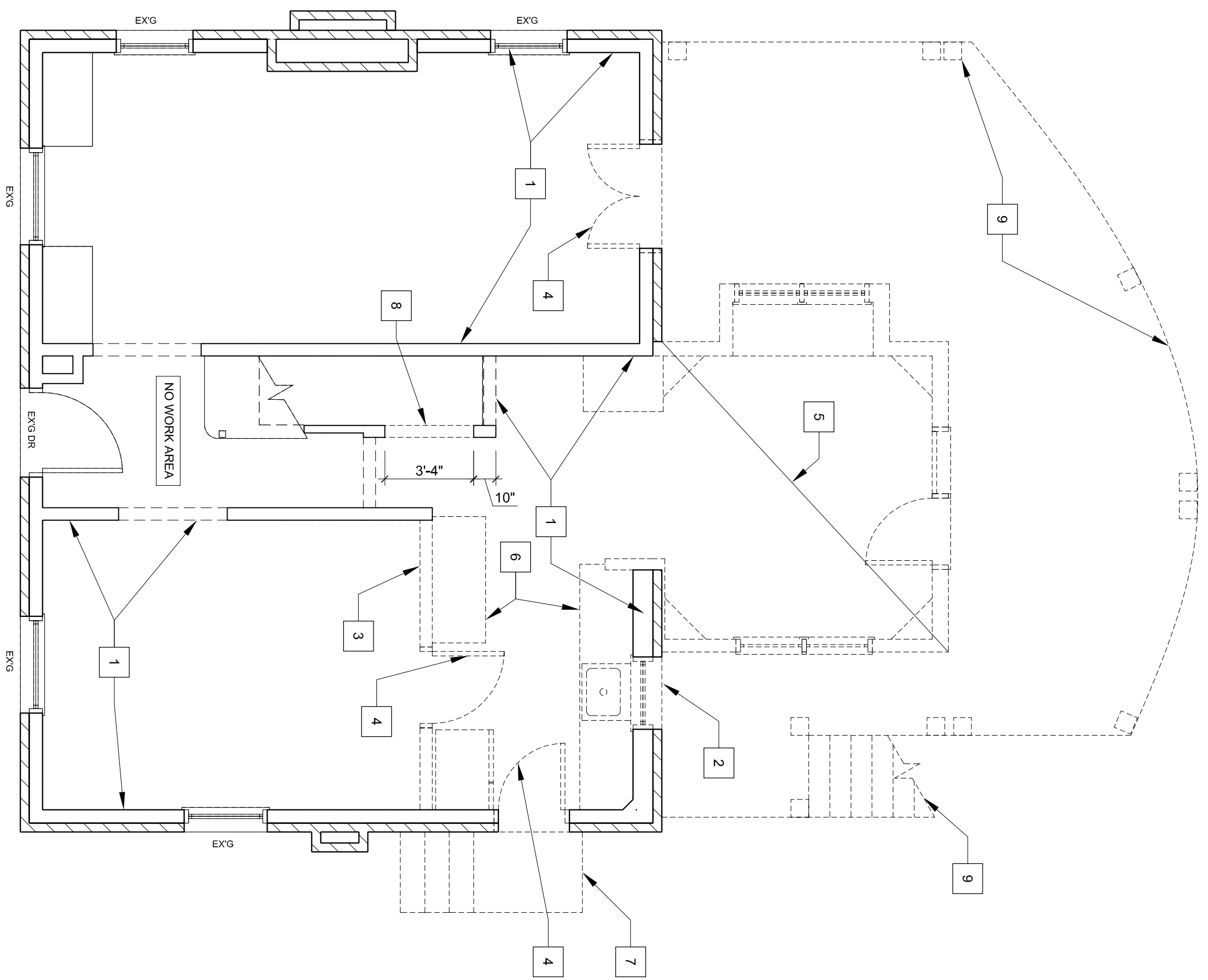
SHEET NUMBER  
**A-2.0**  
SHEET TOTAL

### WINDOW SCHEDULE

TAG	QTY	MANUF.	APPROX. UNIT SIZE	HEAD HEIGHT	SAFETY GLASS RECED	EGRESS RECED	REMARKS	TAG
A	6		32	60	(2) YES, (4) NO	NO	DH 200 SERIES TILT-WASH 244DH2860	A
B	2		32	42	NO	NO	DH 200 SERIES TILT-WASH 244DH2836	B
C	2		32	53.38	NO	NO	CSMT 400 SERIES CX145	C
D	9		32	66	NO	NO	DH 200 SERIES TILT-WASH 244DH2866	D
E	1		32	54	NO	NO	DH 200 SERIES TILT-WASH 244DH2946	E
F	1		36	57	NO	YES	DH 200 SERIES TILT-WASH 244DH3049	F

### DOOR SCHEDULE

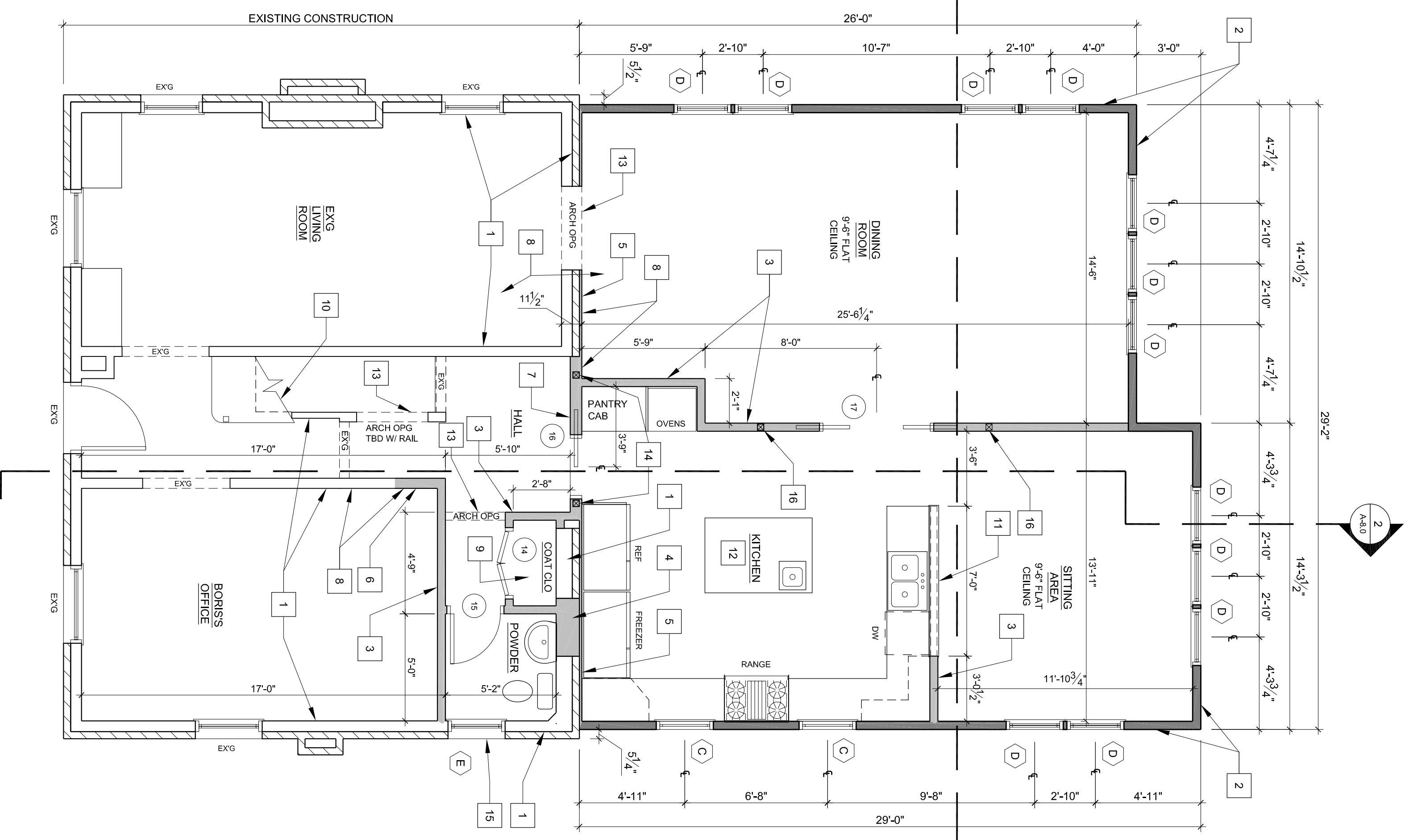
TAG	SIZE WxH	REMARKS
01	2 @ 27 x 77	INTERIOR - PAIR IN EXG OPG
02	2 @ 27 x 77	INTERIOR - PAIR IN EXG OPG
03	30 x 81	INTERIOR
04	30 x 80	INTERIOR
05	24 x 80	INTERIOR
06	24 x 72	SHOWER
07	24 x 80	INTERIOR
08	42 x 80	CASED OPG
09	30 x 80	INTERIOR
10	36 x 80	INTERIOR
11	24 x 80	INTERIOR - FRENCH
12	32 x 80	EXTERIOR - FRENCH
13	32 x 80	EXTERIOR - FRENCH
14	2 @ 18 x 80	INTERIOR - PAIR
15	28 x 80.5	INTERIOR
16	32 x 80.5	INTERIOR - POCKET
17	2 @ 30 x 80	INTERIOR - POCKET PAIR
18	30 x 80	EXTERIOR - FRENCH



**2** FIRST FLOOR PLAN W/ DEMO  
1/4" = 1'-0"

- #### ALL FLOOR PLANS DEMO NOTES:
- EXISTING WALL, DOOR, WINDOW OR OTHER ITEM TO REMAIN.
  - DEMO AND REMOVE EXG WDW.
  - DEMO AND REMOVE EXG WALL.
  - DEMO AND REMOVE EXG DOOR.
  - DEMO AND REMOVE ENTIRE 3 STORY EXG ADDITION.
  - DEMO & REMOVE ENTIRE KITCHEN, PANTRY, BREAKFAST ROOM, AND COINTEGRATED ISLAND PER CLIENTS INSTRUCTIONS.
  - DEMO AND REMOVE EXT STUOP AND STEPS P/S.
  - DEMO AND REMOVE EXG WALL TO CREATE NEW ARCHED OPENING AND STAIRS.
  - DEMO AND REMOVE ENTIRE W/D DECK AND STAIRS.
  - CUT EXG OLG AND ROOF RAFTERS PER DETAIL.
  - EXG SKYLIGHT SHUTT TO REMAIN.
  - CLIPPED OLG LINE.
  - CUT EXG SLAB @ SHOWER WALLS AND PROVIDE FINISHES NEEDED.
  - NEW WDW IN EXG OPG.
  - NEW POST LOCATED EACH SIDE OF POCKET DR OPENING, ALSO SEE SECOND FLOOR FINISHING PLAN.

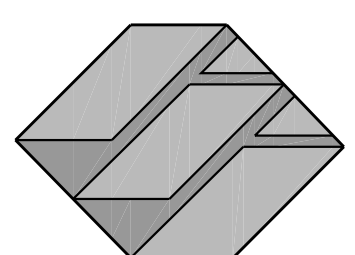
- #### FIRST FLOOR PLAN NOTES:
- EXISTING WALL, DOOR, WINDOW OR OTHER ITEM TO REMAIN.
  - NEW EXT W/D FRM WALL: 2X4 @ 16" OC W/ R 13 F GLASS INSULATION.
  - NEW INT W/D FRM WALL: 2X4 @ 16" OC.
  - FILL IN WALL W/ MATCHING FINISHES.
  - 1 1/2" PADDED WALL.
  - THICKENED WALL AS NEEDED.
  - NEW INT W/D FRM WALL: 2X6 @ 16" OC FOR POCKET DOOR.
  - CRITICAL ALIGNMENTS: ALIGN WALL, FLOOR OR OTHER FINISHES.
  - 1 SHELF, 1 ROD.
  - EXG STAIRCASE TO REMAIN.
  - 2X4 @ 16" OC SHORT WALL, T.O. WALL = 4".
  - NEW KITCHEN PER KITCHEN DESIGNER'S PLAN.
  - NEW ARCHED OPG TO MATCH EXG AS MUCH AS POSSIBLE.
  - POST LOCATION.
  - NEW WDW IN EXG OPG.
  - NEW POST LOCATED EACH SIDE OF POCKET DR OPENING, ALSO SEE SECOND FLOOR FINISHING PLAN.



**1** FIRST FLOOR PLAN  
1/4" = 1'-0"

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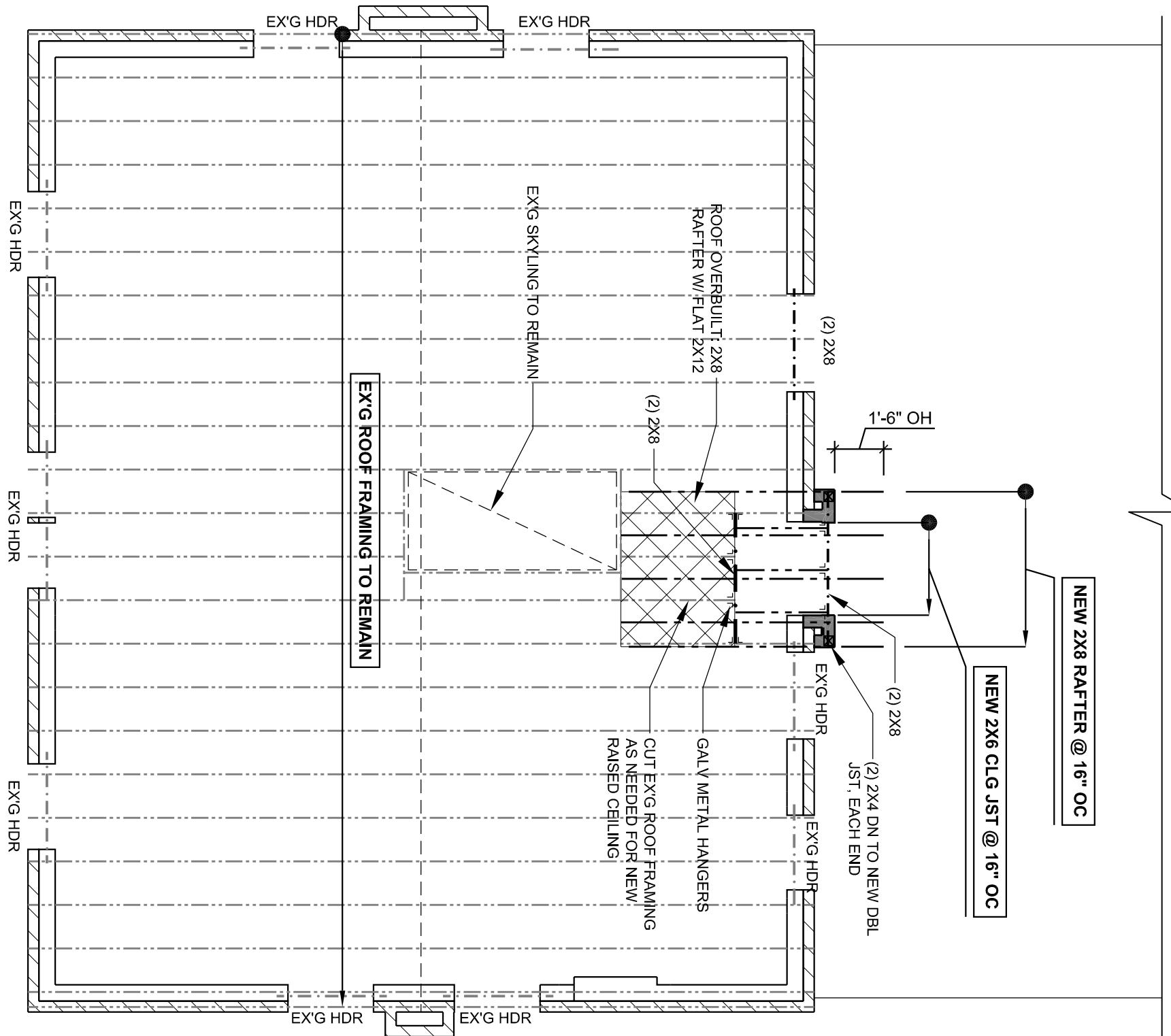
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PHASE	DATE
DESIGN	2-22-12
STRUCT. REV.	0-8-12
PERMIT REV.	0-15-12
PERMIT	4-10-12

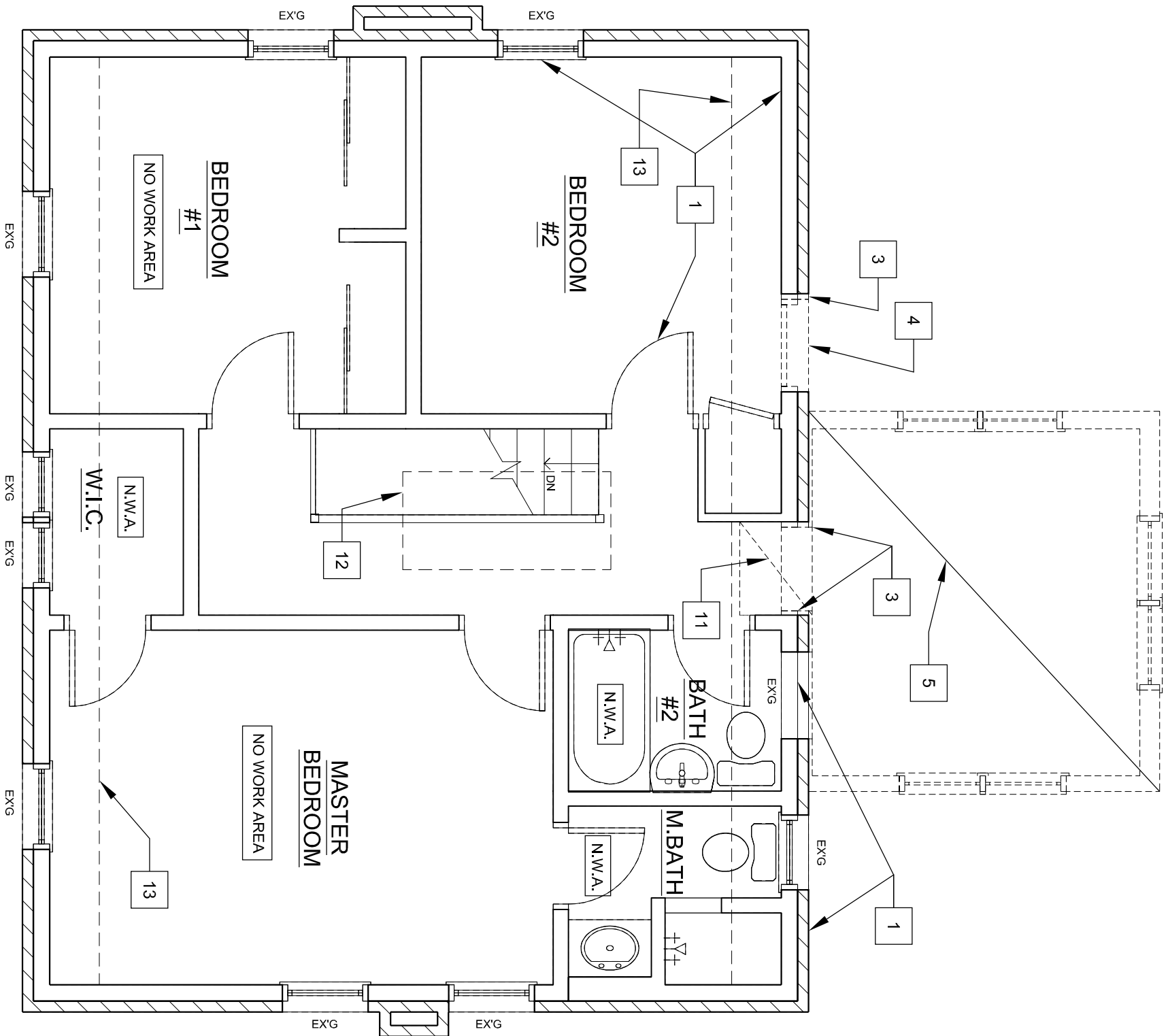
REVISIONS  
OR AS NOTED

**FIRST FLOOR AND DEMO PLANS**

SHEET NUMBER  
**A-3.0**  
OF 10 TOTAL



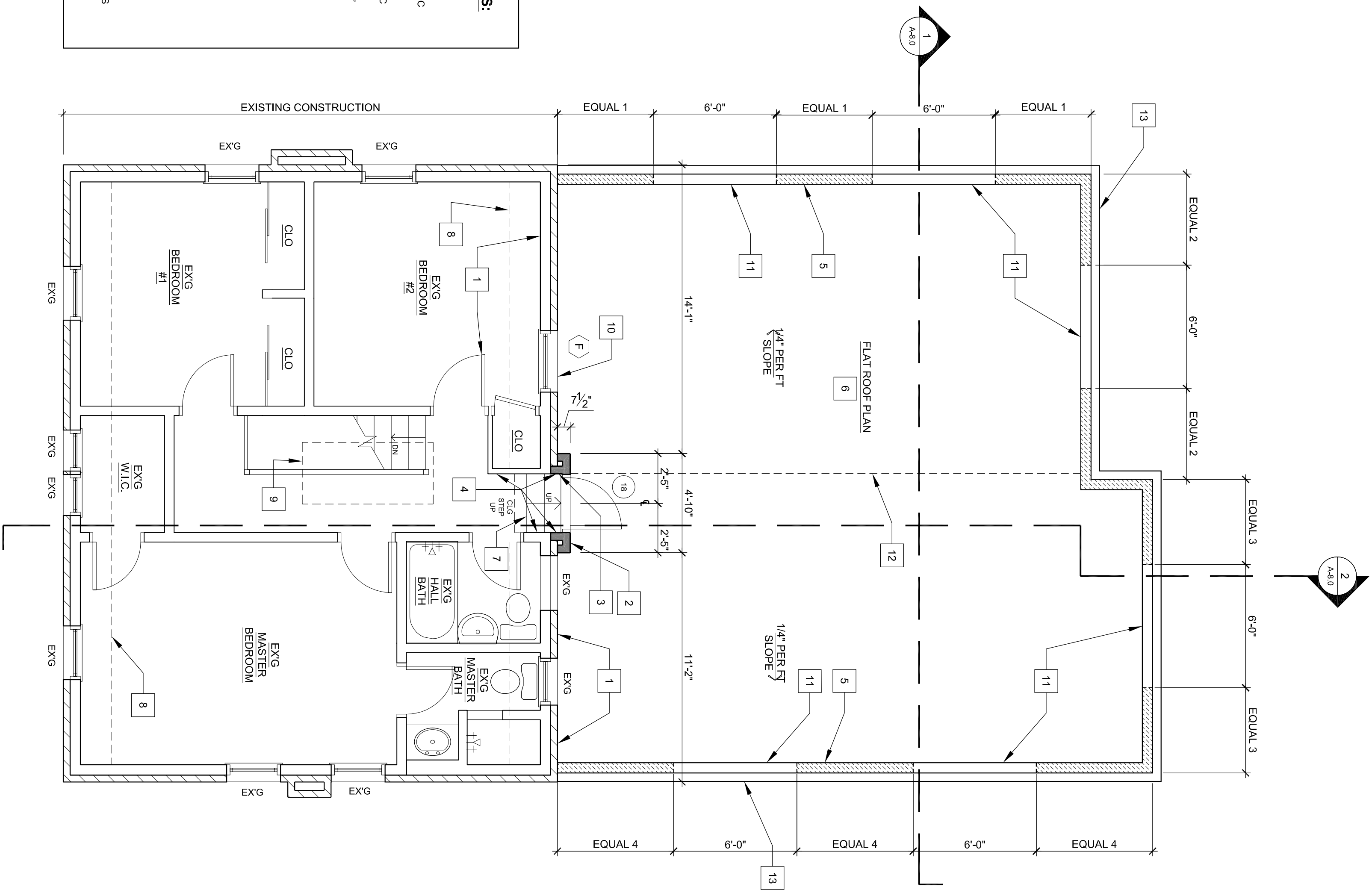
3 DORMER ROOF FRAMING PLAN  
1/4" = 1'-0"



2 SECOND FLOOR PLAN W/ DEMO  
1/4" = 1'-0"

- ALL FLOOR PLANS DEMO NOTES:**
- EXISTING WALL, DOOR, WINDOW OR OTHER ITEM TO REMAIN.
  - DEMO AND REMOVE EXG WOV
  - DEMO AND REMOVE EXG WALL
  - DEMO AND REMOVE EXG DOOR
  - DEMO AND REMOVE ENTIRE 3 STORY EXG ADDITION
  - DEMO & REMOVE ENTIRE KITCHEN, BATH, AND HALL. REUSE PER CLIENTS INSTRUCTIONS
  - DEMO AND REMOVE EXT STOOP AND STEPS P/S
  - DEMO AND REMOVE EXG WALL TO CREATE NEW ARCHED OPENING AND STAIRS
  - DEMO AND REMOVE ENTIRE WD DECK AND STAIRS
  - CUT EXG CLG AND ROOF RAFTERS PER DETAIL
  - EXG SKYLIGHT SHAFT TO REMAIN
  - CLIPPED CLG LINE
  - CUT EXG SLAB @ SHOWER WALLS AND PROVIDE PD/AS NEEDED

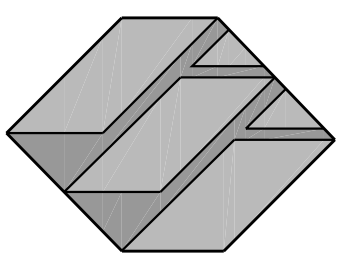
- SECOND FLOOR PLAN NOTES:**
- EXISTING WALL, DOOR, WINDOW OR OTHER ITEM TO REMAIN.
  - NEW EXT WD FRM WALL - 2x4 @ 16" OC W/ R 13.5 GLASS INSULATION
  - NEW INT WD FRM WALL - 2x4 @ 16" OC
  - CRITICAL ALIGNMENTS, ALIGN WALL, FLOOR OR OTHER FINISHES
  - PARAPET WALL: 2x4 @ 16" OC, T.O. WALL = 3/8" ABOVE TOP OF ROOF
  - ROOF MEMBRANE P/S
  - NEW STAIRS UP: (2) 7 1/2" x (2) 10 1/2" T
  - CLIPPED CLG LINE
  - EXG SKYLIGHT TO REMAIN
  - NEW EGRESS WINDOW
  - NEW 6" LONG RAILING P/S
  - FLAT ROOF RIDGE
  - NEW GUTTER P/S, SPOUT LOCATIONS TBD



1 SECOND FLOOR PLAN  
1/4" = 1'-0"

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PHASE	DATE
DESIGN	2-22-12
STRUCT REV.	8-5-12
PERMIT REV.	8-14-12
PERMIT	4-10-12

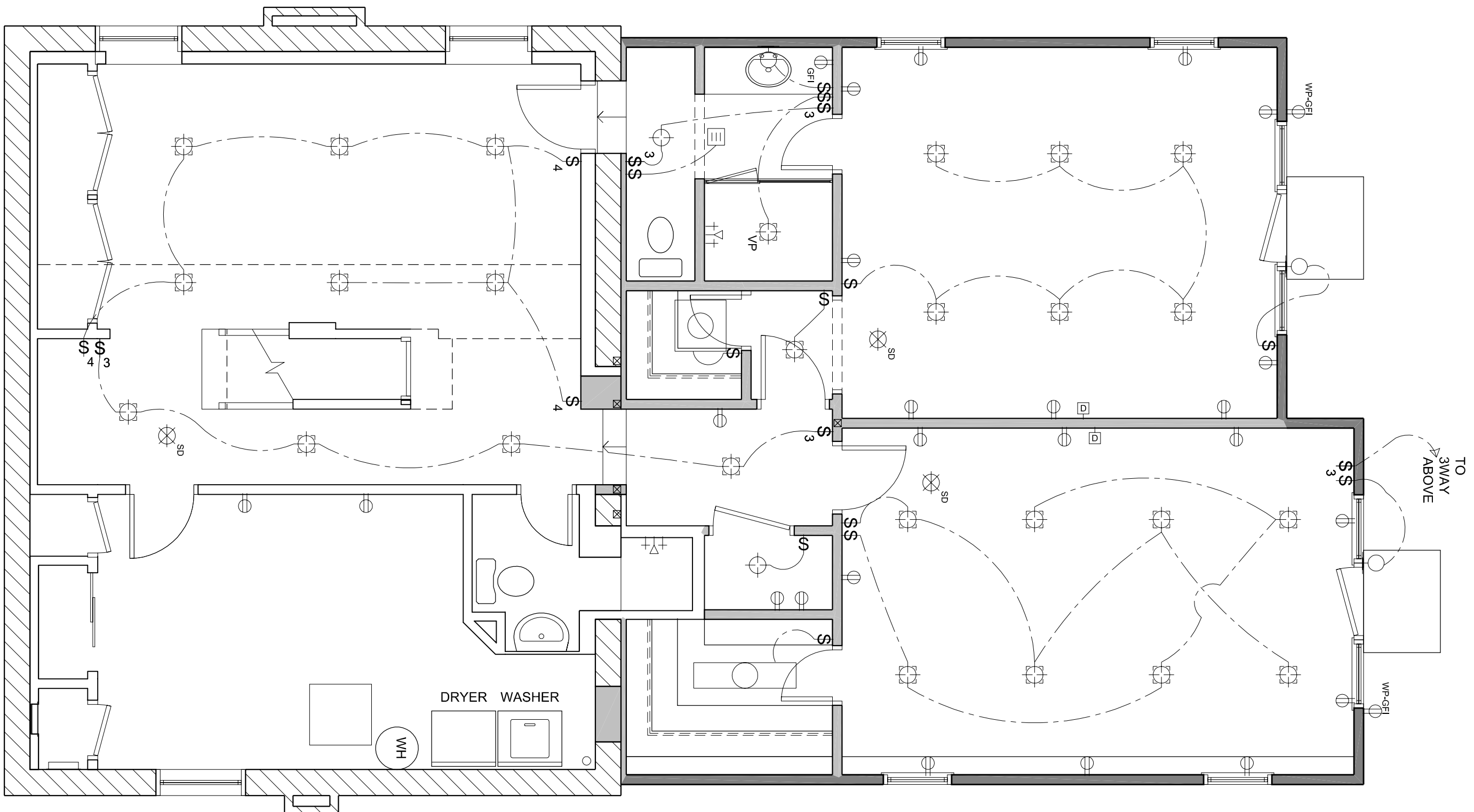
PROJECT TITLE  
SHEET SCALE  
X-1'-0"  
OR AS NOTED

**SECOND FLOOR, DEMO AND ROOF FRAMING PLANS**

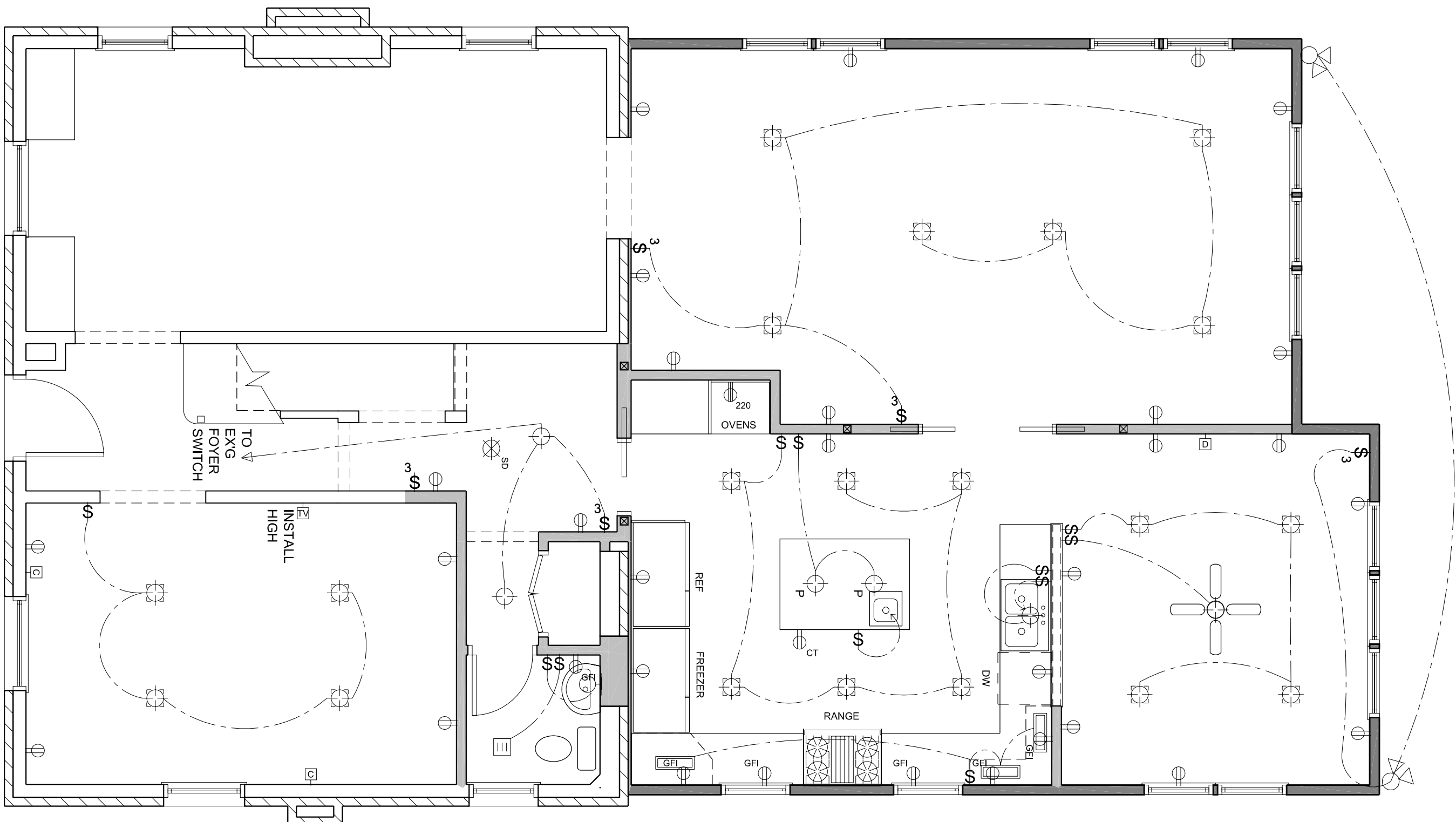
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**A-4.0**  
OF 10 TOTAL



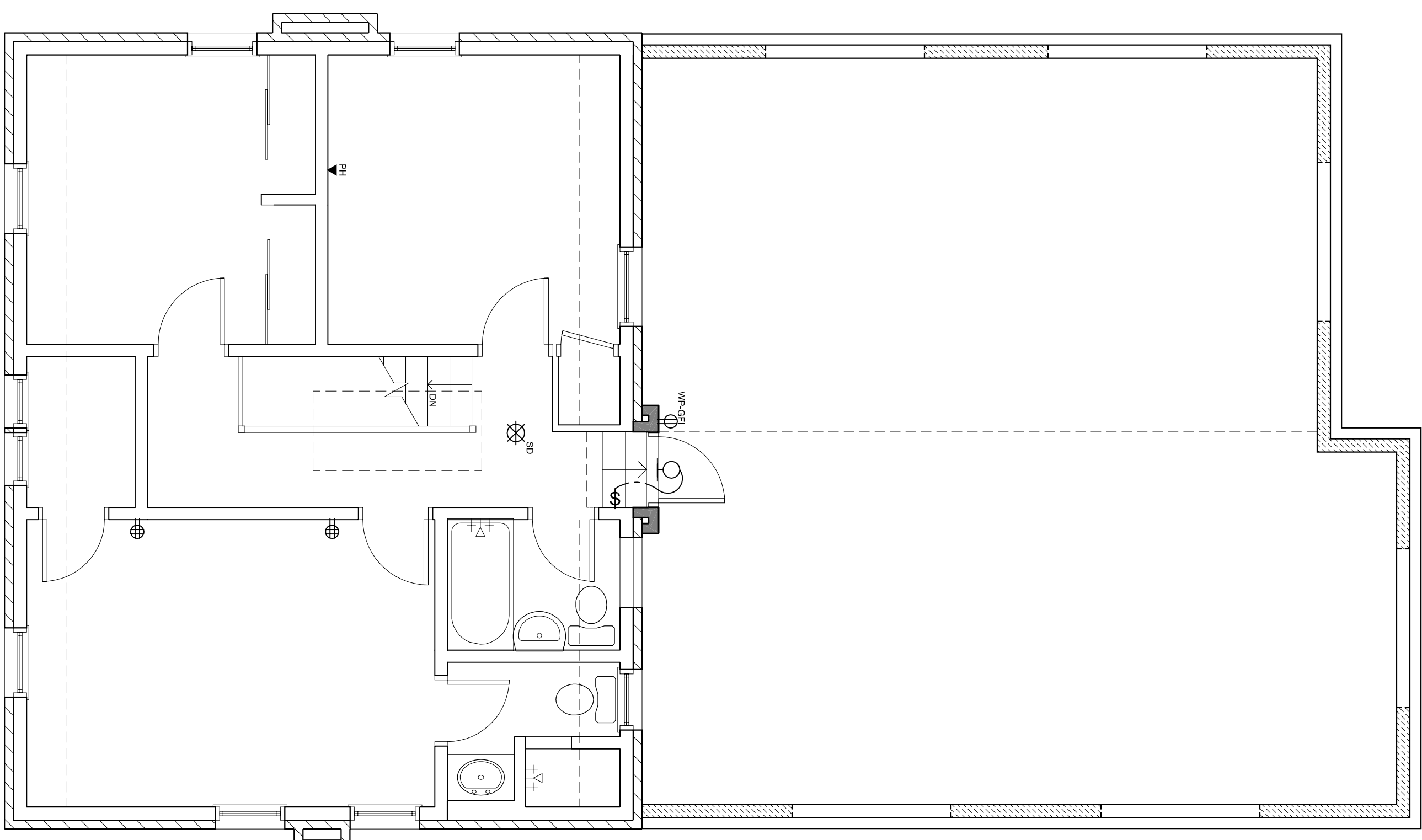
ELECTRICAL LEGEND					
\$	SWITCH	☼	SMOKE DETECTOR	☼	FLOODLIGHT
\$	THREE-WAY SWITCH	☼	CABLE	☼	RECESSED VAPOR-PROOF
\$	FOUR-WAY SWITCH	☼	PHONE OUTLET	☼	RECESSED LIGHT
⊕	DUPLEX	☼	TV OUTLET	☼	UNDER CAB. LIGHT
⊕	GFI DUPLEX	☼	CEILING LIGHT	☼	FLOURESCENT LIGHT
⊕	COUNTERTOP DUPLEX	☼	RECESSED CEILING LIGHT	☼	FAN
⊕	WATER PROOF GFI DUPLEX	☼	WALL HUNG LIGHT	☼	PENDANT
⊕	QUAD DUPLEX	☼	SINGLE DATA PORT (TV, PHONE, COMPUTER)		



1 BASEMENT ELECTRICAL PLAN  
1/4" = 1'-0"

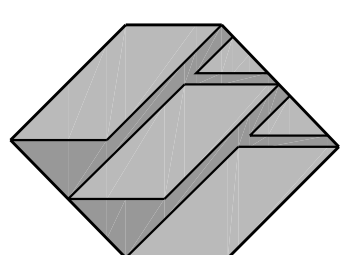


2 FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



3 SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

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BUILDER

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**BORIS & YUZANA**  
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DISTRICT OF COLUMBIA

PROJECT TITLE

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PHASE	DATE
DESIGN	2-22-12
STRUCT. REV.	3-5-12
PERMIT REV.	3-19-12
PERMIT	4-10-12

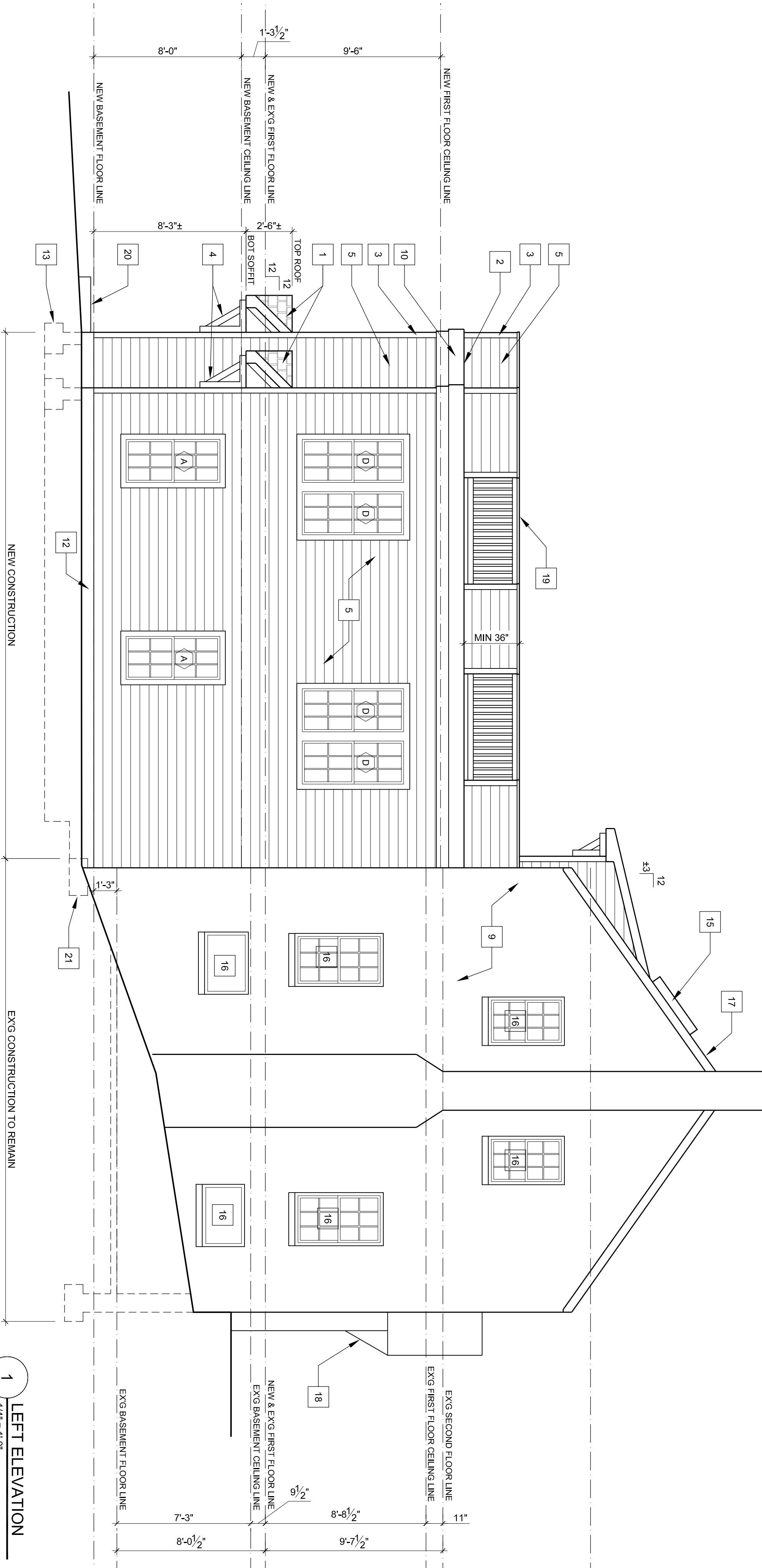
SHEET SCALE  
AS NOTED  
OR AS NOTED

**ELECTRICAL FLOOR PLANS**

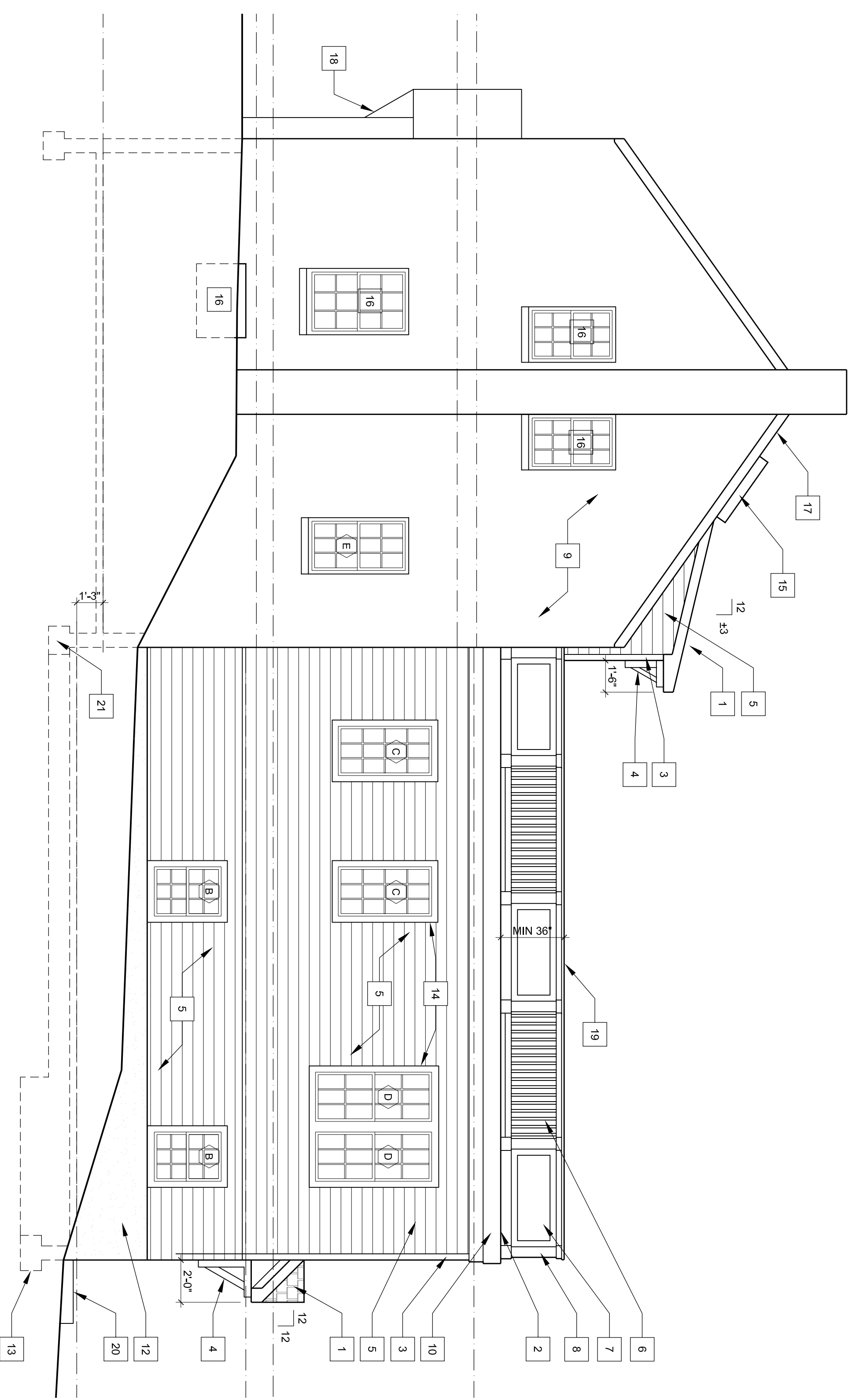
SHEET NUMBER  
**A-6.0**  
OF 10 TOTAL

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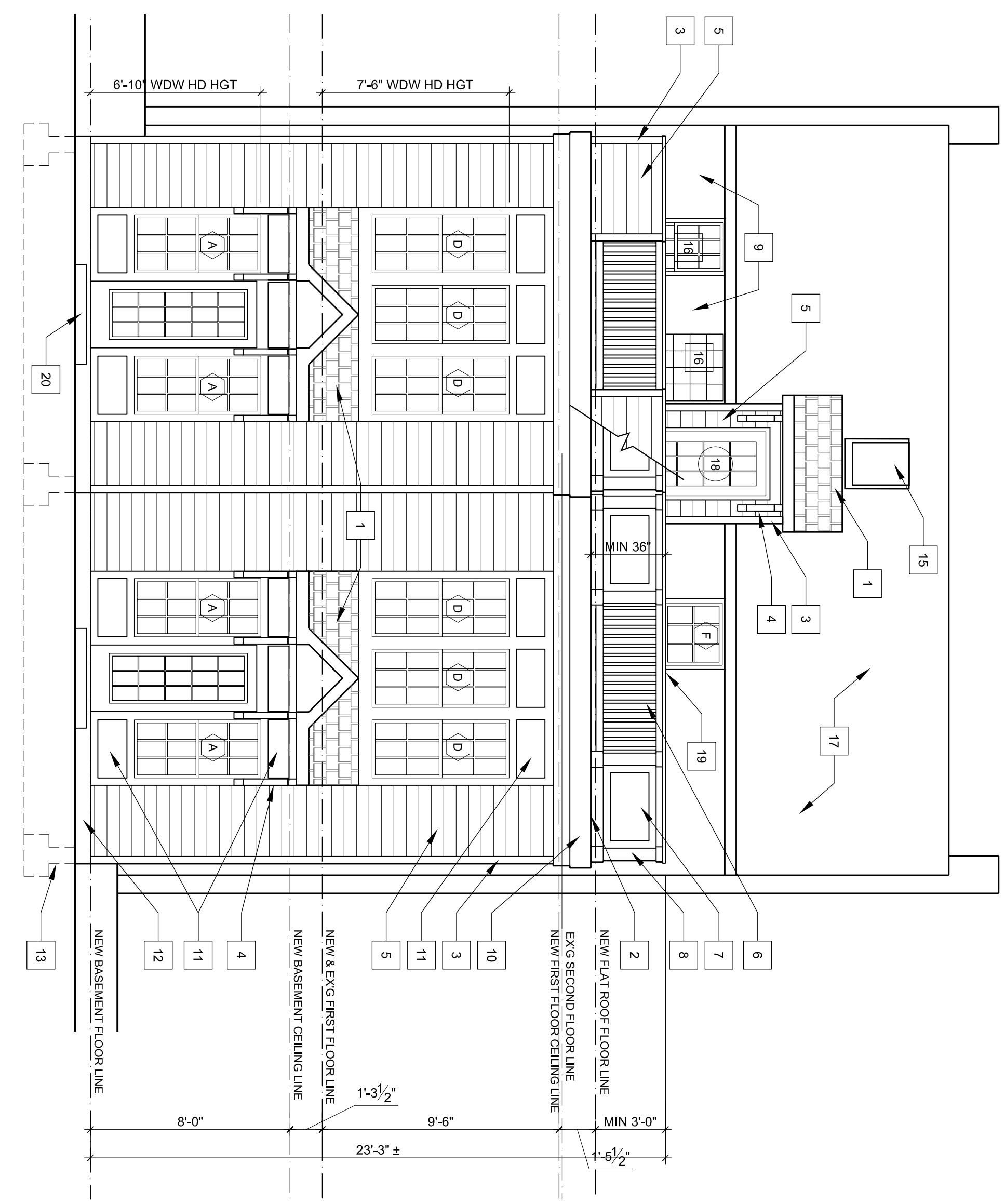
- ALL ELEVATIONS NOTES:**
- 1 NEW ROOF SINGLE PWS
  - 2 NEW FLAT ROOF PWS
  - 3 CORNER BD AND FASDA, SOFFIT DETAIL PWS
  - 4 DECORATIVE BRACKET PWS
  - 5 NEW SIDING PWS
  - 6 NEW RAILING PER CODE & PWS
  - 7 OPTIONAL DECORATIVE PANEL PWS
  - 8 OPTIONAL NEW APPLIED POST PWS
  - 9 EXISTING CONSTRUCTION TO REMAIN
  - 10 5/8" ON 5/8" BAND BD
  - 11 DECORATIVE PANEL PWS
  - 12 MASONRY PARAPET ON CMU
  - 13 FOUNDATION OUTLINE
  - 14 WINDOW & DOOR TRIM TBD
  - 15 EXG SKYLIGHT TO REMAIN
  - 16 EXG WDW, DR OR OTHER ITEM TO REMAIN
  - 17 EXG ROOF TO REMAIN
  - 18 EXG FRONT PORCH TO REMAIN
  - 19 WHITE ALUM CAP FLASHING - TYP.
  - 20 CONC PAD
  - 21 EXG FOOTINGS TO REMAIN



**1**  
LEFT ELEVATION  
1/4" = 1'-0"

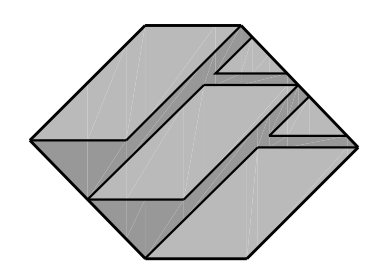


**2**  
RIGHT ELEVATION W/ OPTIONAL PARAPET WALL PANELS  
1/4" = 1'-0"



**3**  
REAR ELEVATION W/ STANDARD SIDING AND OPTIONAL PARAPET WALL PANELS  
1/4" = 1'-0"

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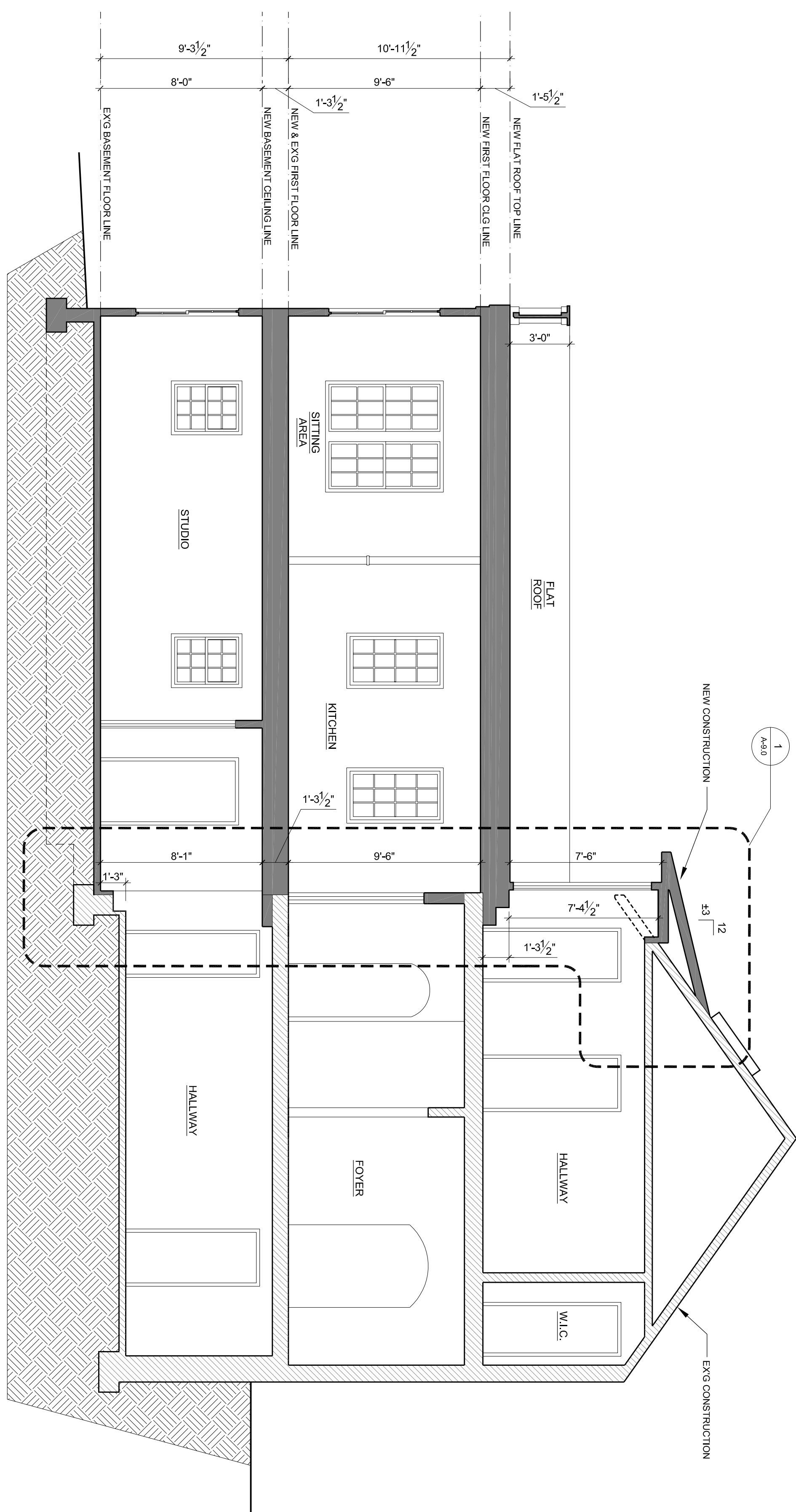
PHASE	DATE
DESIGN	2-22-12
STRUCT REV.	8-5-12
PERMIT REV.	8-14-12
PERMIT	4-10-12

**PROPOSED ELEVATIONS**

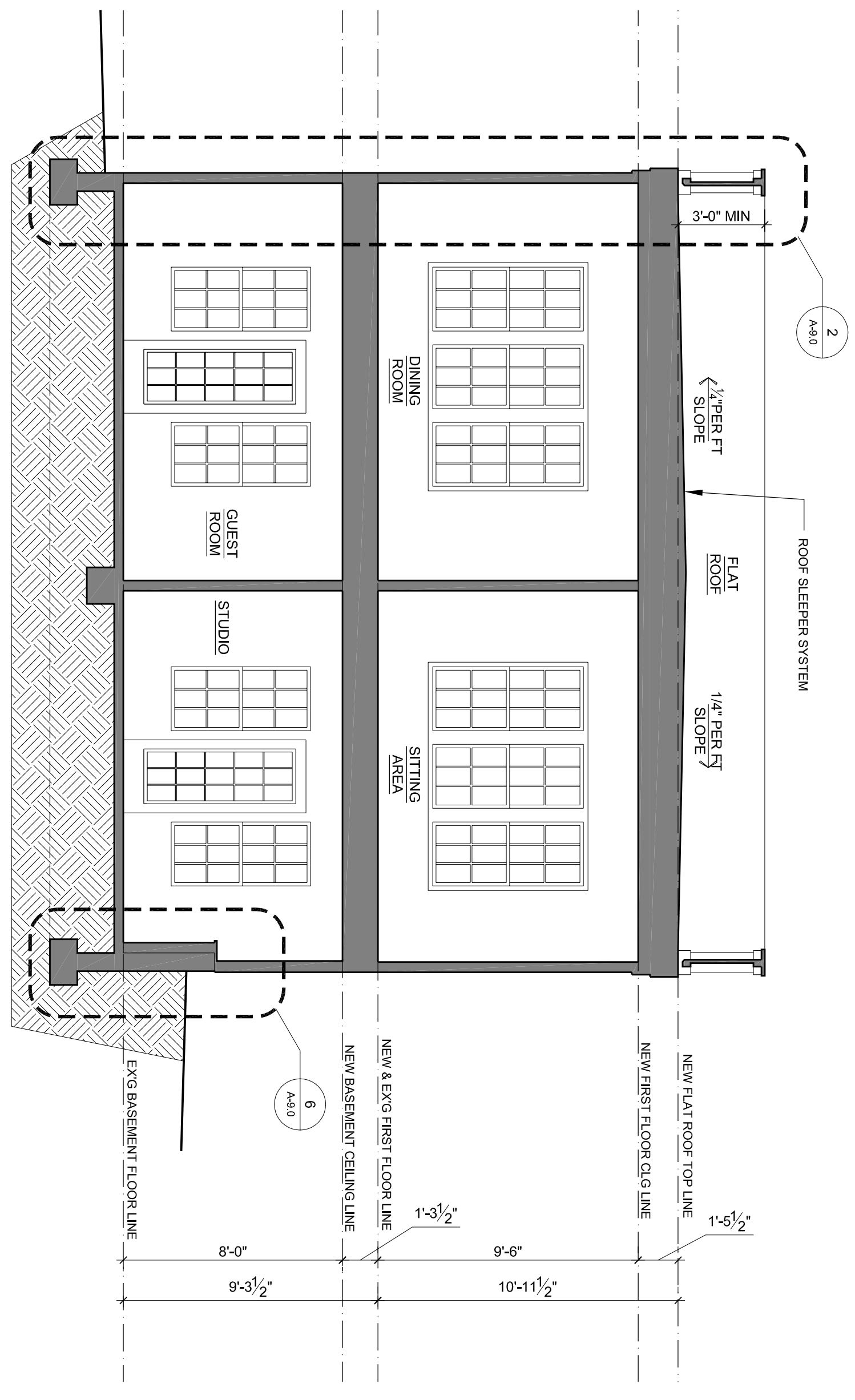
SHEET SCALE  
1/4" = 1'-0"  
OR AS NOTED

SHEET NUMBER  
**A-7.0**  
OF 10 TOTAL  
SHEET TITLE

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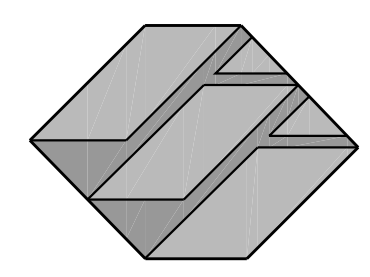


2 BUILDING SECTION  
1/4" = 1'-0"



1 BUILDING SECTION  
1/4" = 1'-0"

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PROJECT TITLE  
BUILDERS

PHASE	DATE
DESIGN	2-22-12
STRUCT. REV.	8-5-12
PERMIT REV.	8-14-12
PERMIT	4-10-12

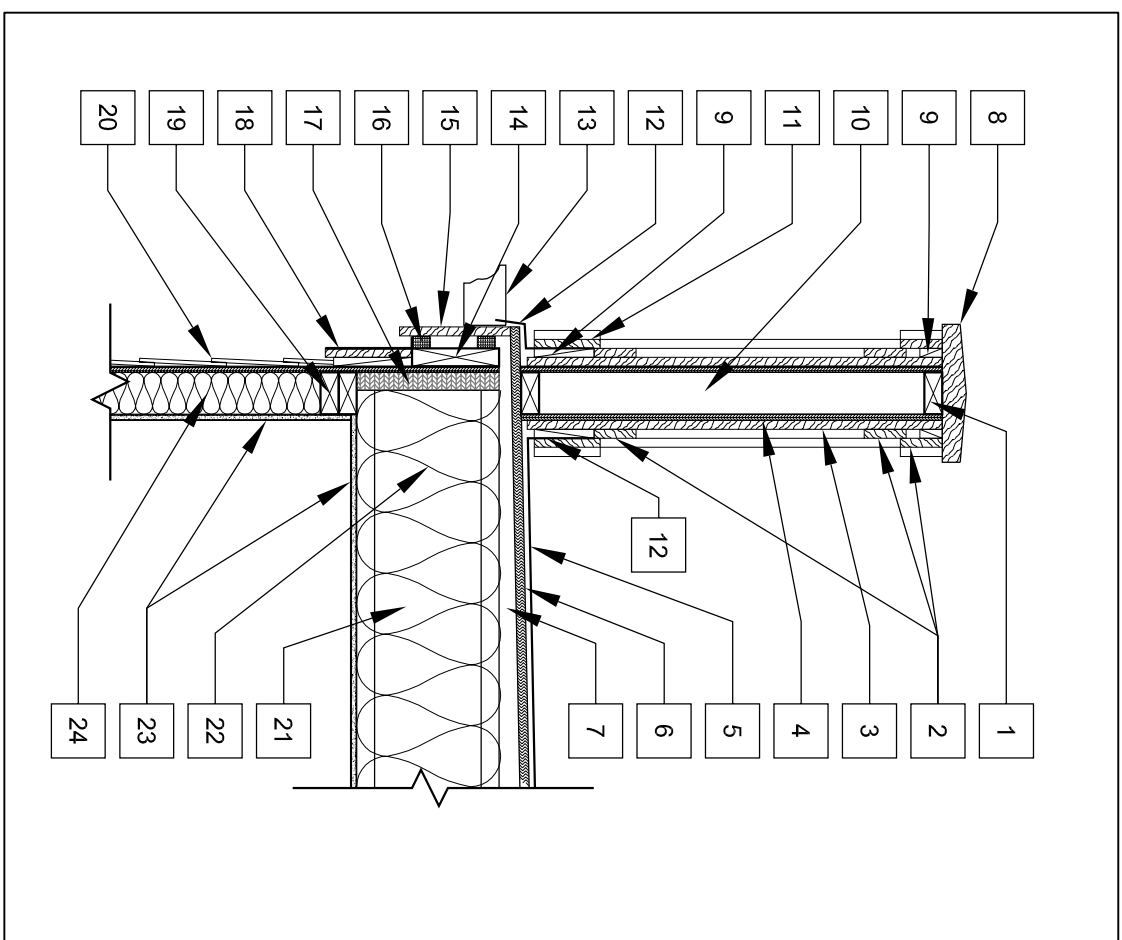
SHEET SCALE  
1/4" = 1'-0"  
OR AS NOTED

**BUILDING SECTIONS**

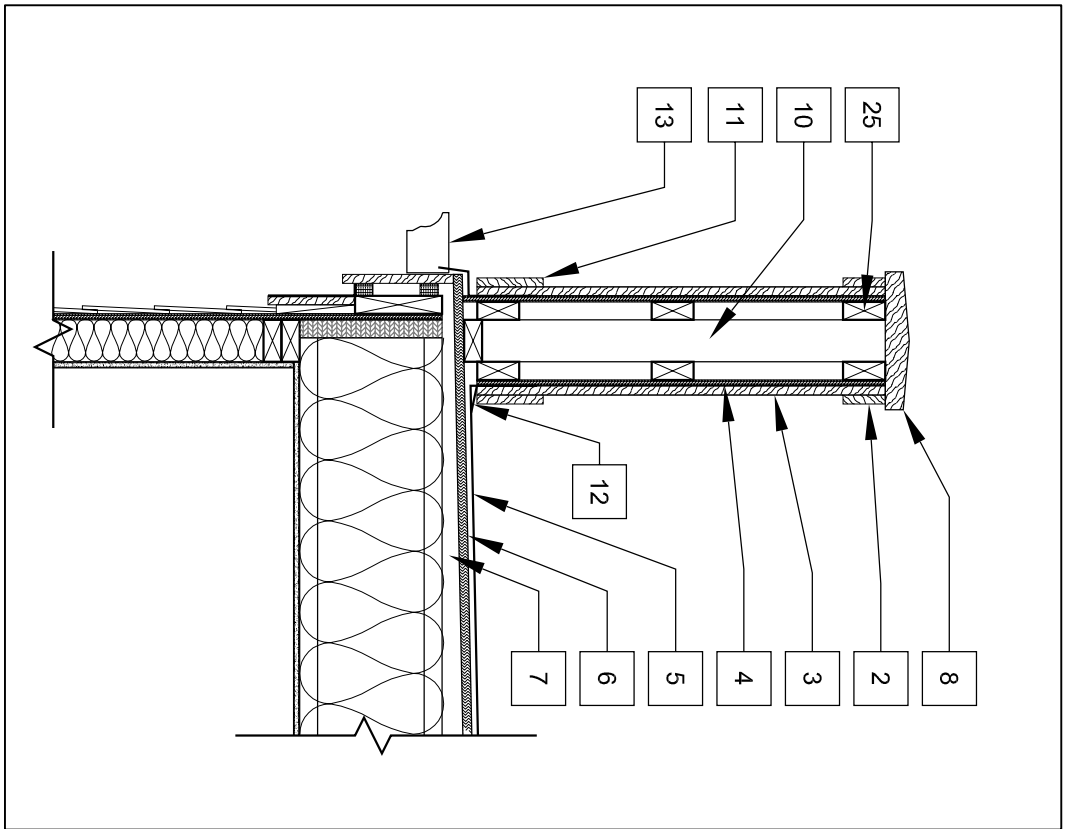
SHEET NUMBER  
**A-80**  
OF 10 TOTAL  
SHEET TITLE

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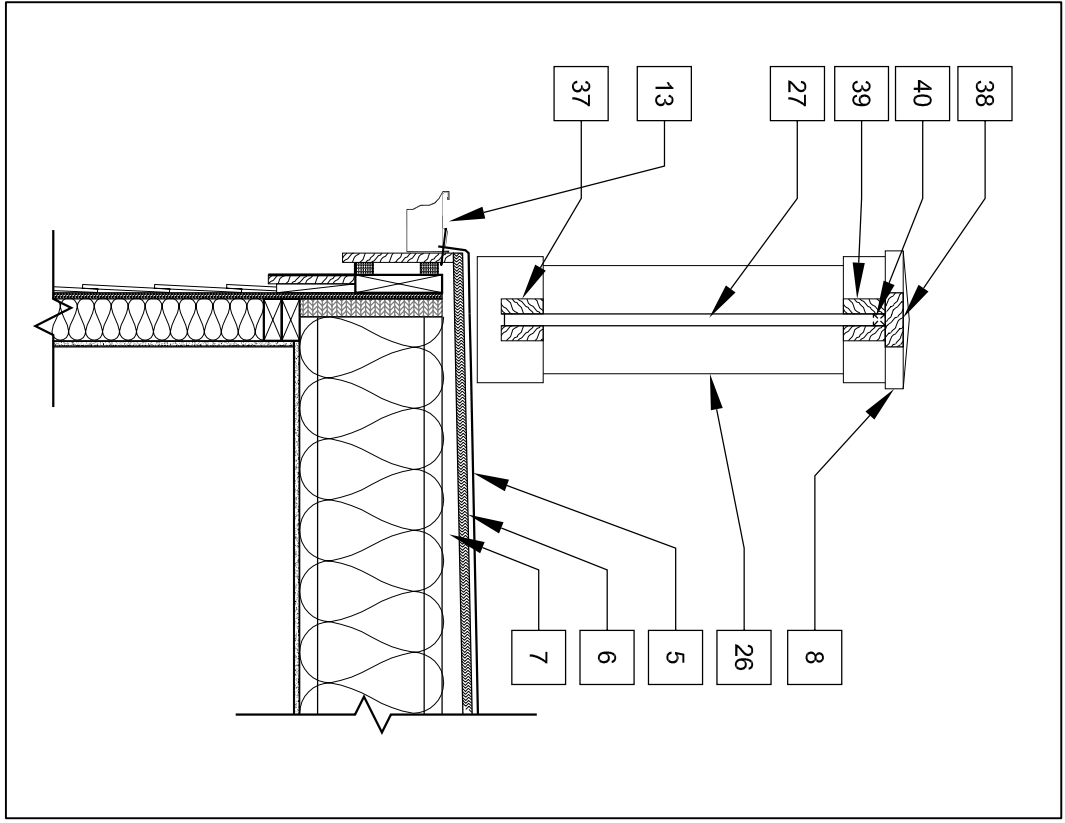




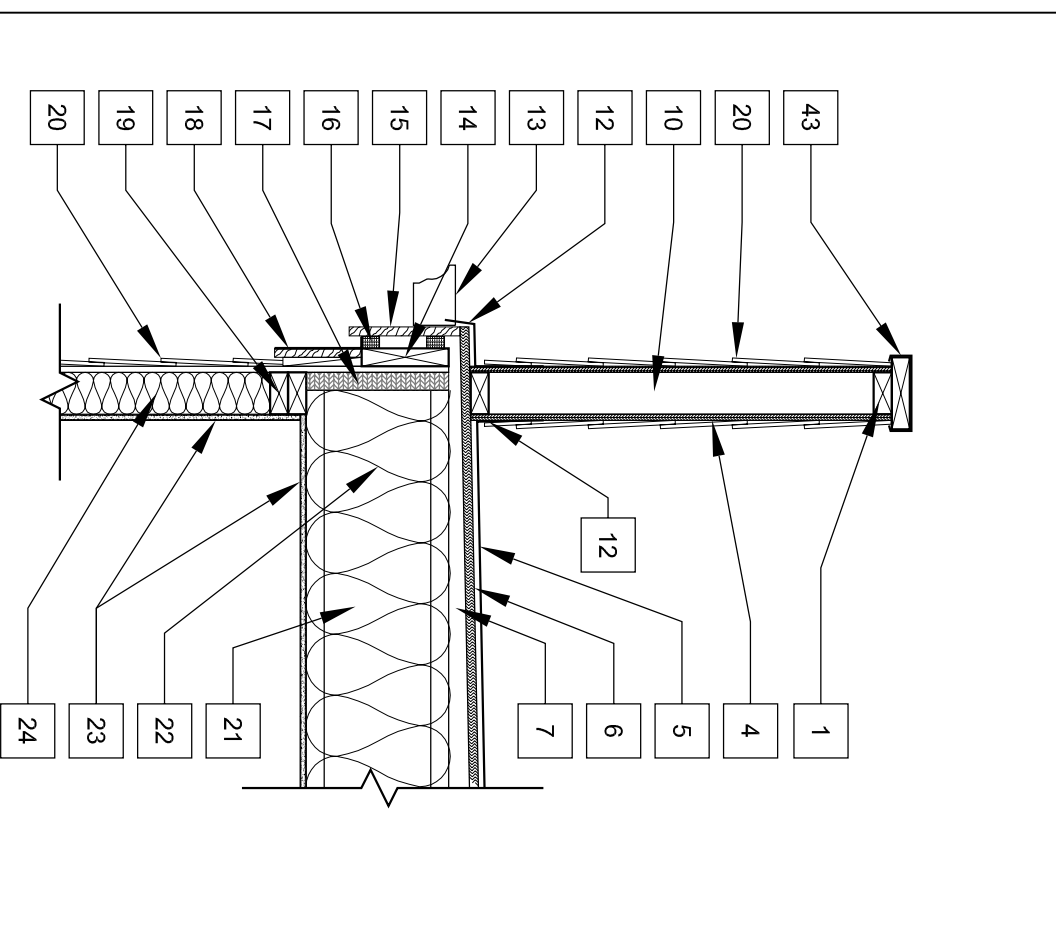
3 WALL DETAIL AT PARAPET WALL-OPTIONAL  
3/4" = 1'-0"



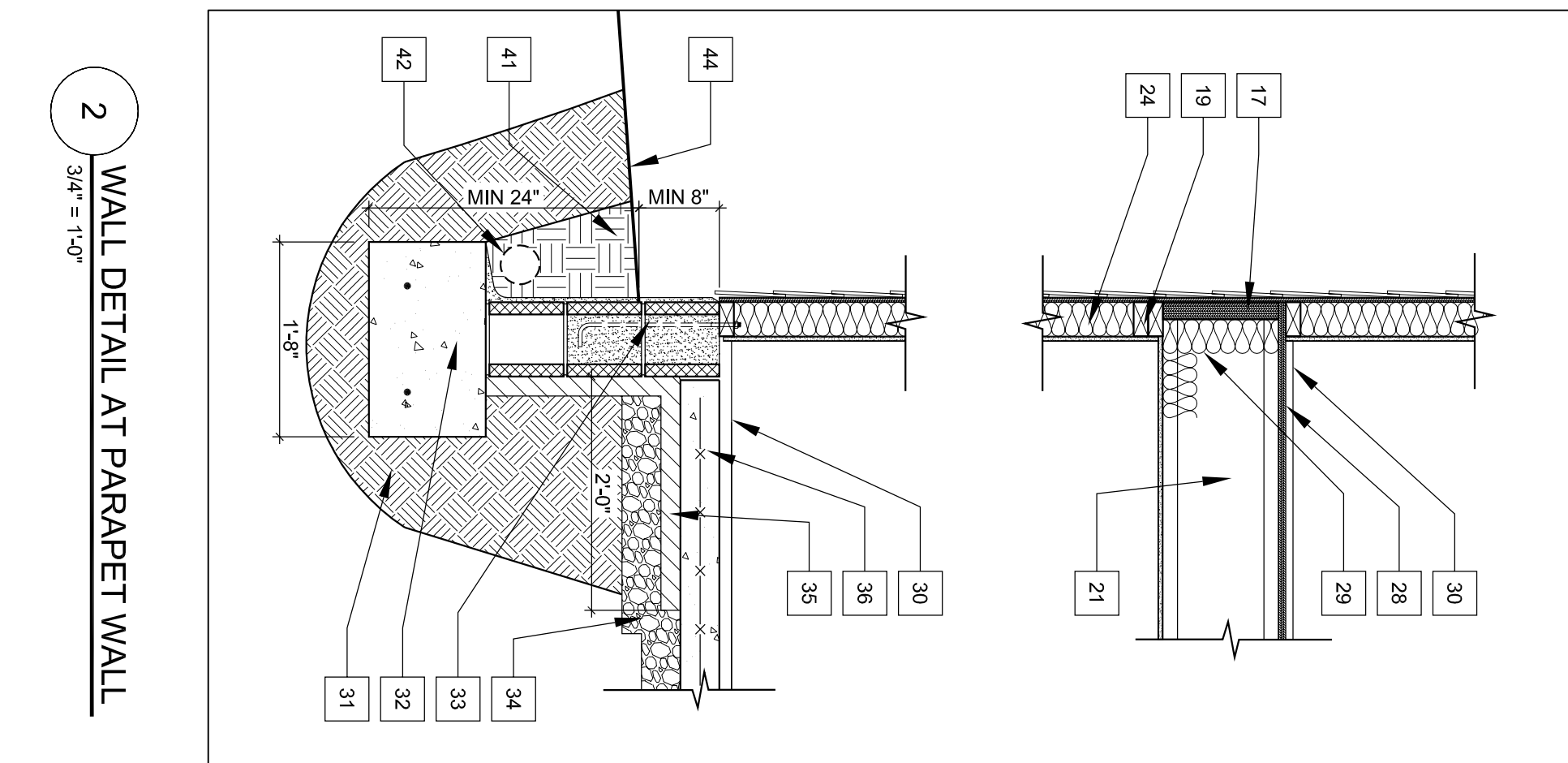
4 WALL DETAIL AT POSTI-OPTIONAL  
3/4" = 1'-0"



5 WALL DETAIL AT RAILING  
3/4" = 1'-0"



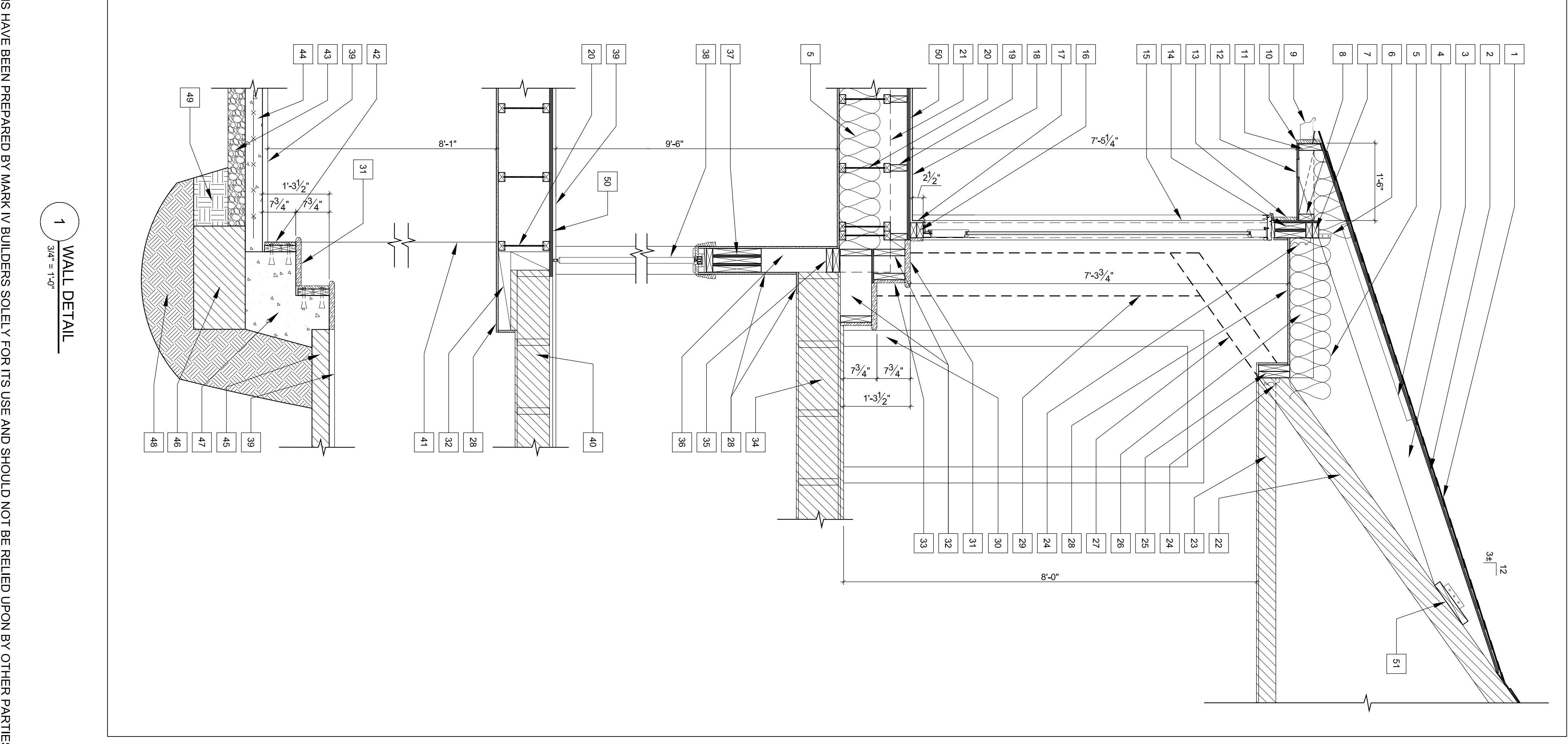
- WALL SECTIONS # 2, 3, 4, 5 NOTES:**
- 2X4 PARAPET WALL TOP PLATE
  - 1 X 4 TRIM BD
  - 3/4" PANEL
  - 1/2" CDX PLYWOOD
  - RUBBER ROOF MEMBRANE PPS
  - FLAT ROOF SHEATHING, 3/4" CDX PLYWOOD NAILED PER IRC 2006
  - 2 BY SLEEPERS ON TOP OF NEW F.R.JST
  - PARAPET WALL CAP' 1/2" X 7 AZEK
  - BLOCKING AS NEEDED
  - 2X4 PARAPET WALL
  - 1 X 6 TRIM BD
  - FLASHING AS NEEDED
  - GUTTER PPS
  - 2X8 BLOCKING
  - 1 X 10 FASQA
  - CONT CORAVERT S-400 BEHIND FASQA
  - 12" 1/2" BAND BD
  - 1 X 8 BAND BD
  - 2X4 RBL TOP PLATE NAILED W/ 16d COMMON NAILS @ 12" OC, 2 ROWS
  - HARDY PLANK SIDING PPS
  - 12" 1/2" FIBER FLOOR FRAMING PLANS
  - R38 MIN INSUL. W/ V.B. TO LIVING SPACE SIDE
  - TYPE INTERIOR C.G. AND WALL FINISH TO BE 1/2" PTD DW INSTALLED AND FINISHED PER MANUF'S INSTRUCTIONS
  - TYPICAL EXTERIOR WALL:
  - 2X4 WD SFP STUD AT 16" OC W/ DBL TOP PLATES AND SINGLE PT SOLE PLATE W/ 1/2" DRYWALL W/ R-13 F.G. BATT INSULATION W/ R-13 INSUL.
  - 2X4 RBL TOP PLATE NAILED W/ 16d COMMON NAILS @ 12" OC, 2 ROWS
  - 1X1 BLOCKING AS NEEDED
  - 1X1 X 4 TOP RAIL
  - HAND RAIL
  - 3/4" X 4 BOTTOM RAIL
  - 4" CONC SLAB W/ 60K#10 W/WF
  - 4" CLEAN GRAVEL ON 6 MIL POLY V.B.
  - 4" RIGID INSULATION
  - 4" CONC SLAB W/ 60K#10 W/WF
  - 2X7 WRAPPED IN ALUM FLASHING
  - DAWNLIGHT IN BACKYARD
  - 2X7 WRAPPED IN ALUM FLASHING
  - SLOPE AWAY FROM ALL FIN WALLS



2 WALL DETAIL AT PARAPET WALL  
3/4" = 1'-0"

- WALL SECTIONS # 6 NOTES:**
- HARDY PLANK SIDING PPS
  - TYPICAL EXTERIOR WALL
  - 2X4 WD SFP STUD AT 16" OC W/ DBL TOP PLATES AND SINGLE PT SOLE PLATE W/ 1/2" DRYWALL W/ R-13 F.G. BATT INSULATION W/ R-13 INSUL.
  - 2X4 RBL TOP PLATE NAILED W/ 16d COMMON NAILS @ 12" OC, 2 ROWS
  - 1X1 BLOCKING AS NEEDED
  - 1X1 X 4 TOP RAIL
  - HAND RAIL
  - 3/4" X 4 BOTTOM RAIL
  - 4" CONC SLAB W/ 60K#10 W/WF
  - 4" CLEAN GRAVEL ON 6 MIL POLY V.B.
  - 4" RIGID INSULATION
  - 4" CONC SLAB W/ 60K#10 W/WF
  - 2X7 WRAPPED IN ALUM FLASHING
  - DAWNLIGHT IN BACKYARD
  - 2X7 WRAPPED IN ALUM FLASHING
  - SLOPE AWAY FROM ALL FIN WALLS

- WALL SECTION #1 NOTES:**
- ASPHALT ROOF SHINGLES PPS ON 1/2" BUILDING FELT INSTALLED PARALLEL W/ ALL ROOF EAVES W/ ICE AND SNOW REMOVAL (ON E) TWO COURSES UP FROM ALL ROOF EAVES
  - TYPICAL ROOF SHEATHING, 3/4" CDX PLYWOOD (STAMPED APPROPRIATELY NAILED PER IRC 2006)
  - 2X8 RAFTER @ 16" OC, INSTALL ALL BRACING AND FRAMING ANCHORS PER IRC 2006
  - ROOF VENTILATION BARRIERS AT ALL EAVES IN BETWEEN EACH RAFTER
  - R38 MIN INSUL. W/ V.B. TO LIVING SPACE SIDE
  - RAFTER FRAMING ANCHOR AT ALL RAFTER TO DBL TOP PLATE CONNECTIONS W/ NAILS AS NOTED BY ANCHOR MANUF'
  - 2X4 DBL TOP PLATE NAILED W/ 16d COMMON NAILS @ 12" OC, 2 ROWS
  - 2X4 BLOCKING AS NEEDED
  - TYPICAL GUTTERS PPS, STYLE GUTTER W/ HIDDEN HANGER W/ 2" X 3" ALUM DOWNSPOUTS
  - TYPICAL FASQA, 5/8 X 8 AZEK OR PPS, ALL AZEK TRIMBOARDS TO BE INSTALLED ACCORDING TO MANUF'S INSTALLATION GUIDELINES
  - 2X6 R/PF CONT. ON RAFTER ENDS
  - 2" WHITE ALUM VENTED SOFFIT, CONT. TYP
  - 1 X 6 AZEK FREEZE BOARD OR PPS, TYP
  - (2) 2X8 HDR
  - EXT DOOR PPS
  - SOLID FRAMING AS NEEDED
  - FLASHING
  - RUBBER ROOF MEMBRANE PPS
  - SLEEPERS INSTALLED ON TOP OF F.R.JST
  - F.R.JST @ 16" OC, SEE SECOND FLOOR FLAT ROOF FRAMING PLAN
  - (2) 1/2" ALUM FRONT OF CUT PLANE, SEE SECOND FLOOR FRAMING PLAN
  - EXISTING ROOF RAFTER TO REMAIN
  - EXISTING C.G. JST TO REMAIN
  - C.G. JST & RAFTER HANGER
  - (2) 2X8 FLUSH BEAM, SEE ROOF FRAMING PLAN
  - 2X6 C.G. JST @ 16" OC
  - CUT EXG ROOF RAFTER AS NEEDED IN THE AREA OF THE NEW WALK-OUT DOWNER
  - 1/2" INTERIOR C.G. AND WALL FINISH TO BE 1/2" PTD DW INSTALLED AND FINISHED PER MANUF'S INSTRUCTIONS
  - EXG EXT WALL BEYOND NEW DOWNER TO REMAIN
  - CRITICAL ALIGNMENT: NEW STEPS TO CLEAR EXG BATH DOOR CASING
  - NEW TREAD PPS
  - 2 X 7 FRAMING AS NEEDED
  - NEW RISER PPS
  - EXG SECOND FLOOR FRAMING TO REMAIN
  - 2X6 RBL TOP PLATE NAILED W/ 16d COMMON NAILS @ 12" OC, 2 ROWS
  - 2X6 INT WALL FOR NEW POCKET DOOR
  - (3) 2X12 HDR, SEE SECOND FLOOR FRAMING PLAN
  - NEW POCKET DOOR PPS
  - NEW FLOORING PPS
  - EXG FIRST FLOOR FRAMING TO REMAIN
  - WALL CORNER BEYOND
  - NEW RISER PPS ON PT 2X7 FRAMING W/ ANCHORS INTO NEW CONC
  - 4" CLEAN GRAVEL ON 6 MIL POLY V.B.
  - 4" CONC SLAB W/ 60K#10 W/WF
  - EXG CONC SLAB TO REMAIN
  - EXG FDN WALL & FTG TO REMAIN
  - NEW CONC TREAD
  - UNDISTURB SOIL, TYP
  - 1/2" T&G SUBFLOOR GLEUED & SCREWED
  - 2X12 FLAT ROOF PLATE ON EXG ROOF FRAMING W/ FRAMING ANCHOR BOTH SIDES OF NEW RAFTER



1 WALL DETAIL  
3/4" = 1'-0"

THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.

**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING

**VELIC RESIDENCE**  
BORIS & YUZANA  
3618 LIVINGSTON STREET NW  
WASHINGTON DC, 20015  
DISTRICT OF COLUMBIA

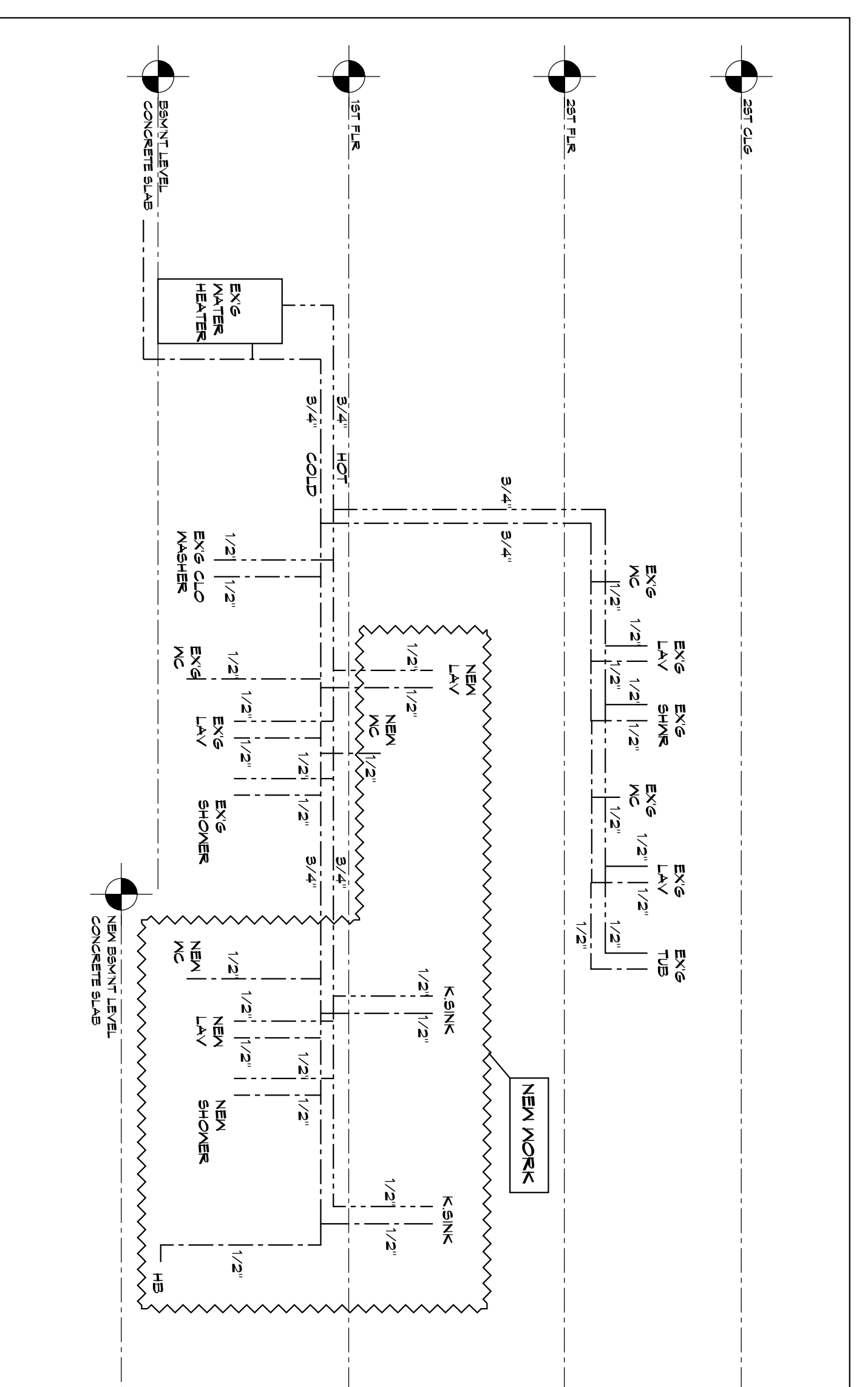
PHASE DATE  
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STRUCT REV. 8-9-12  
PERMIT REV. 8-14-12  
PERMIT 4-10-12

OR AS NOTED

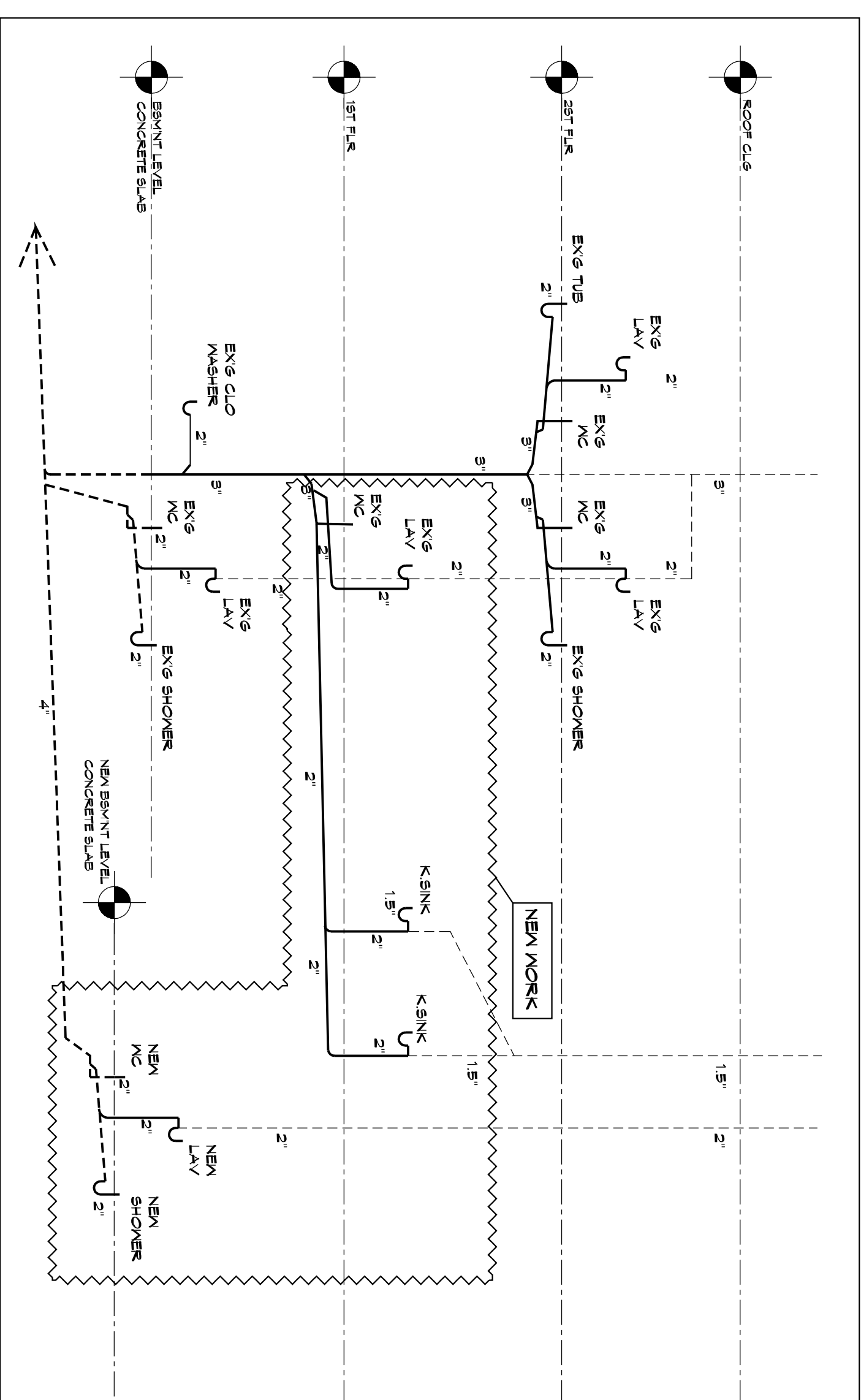
SHEET NUMBER: A-90 OF 10 TOTAL  
SHEET TITLE: WALL DETAILS  
SHEET SCALE: 3/4" = 1'-0"  
REVISIONS: NONE

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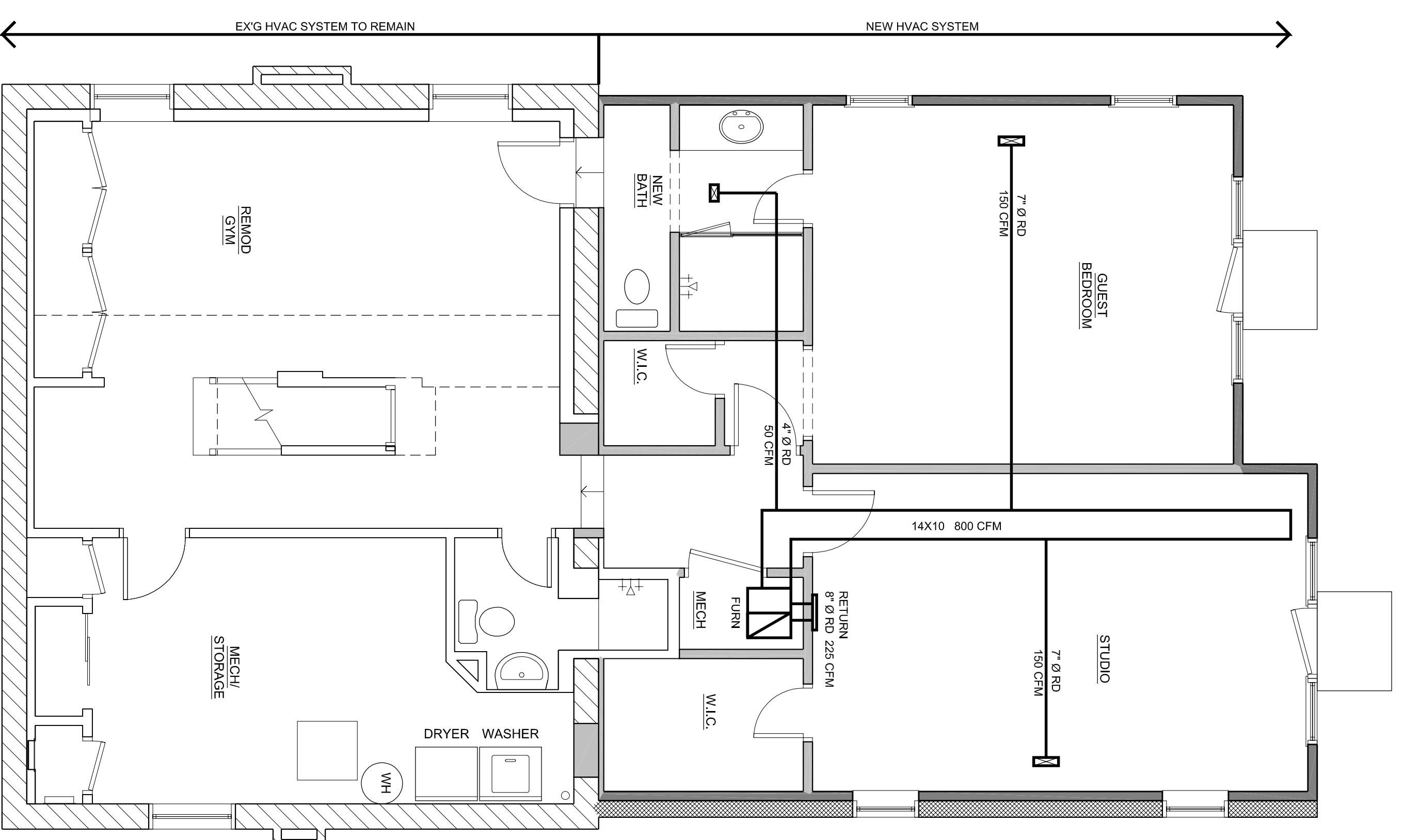
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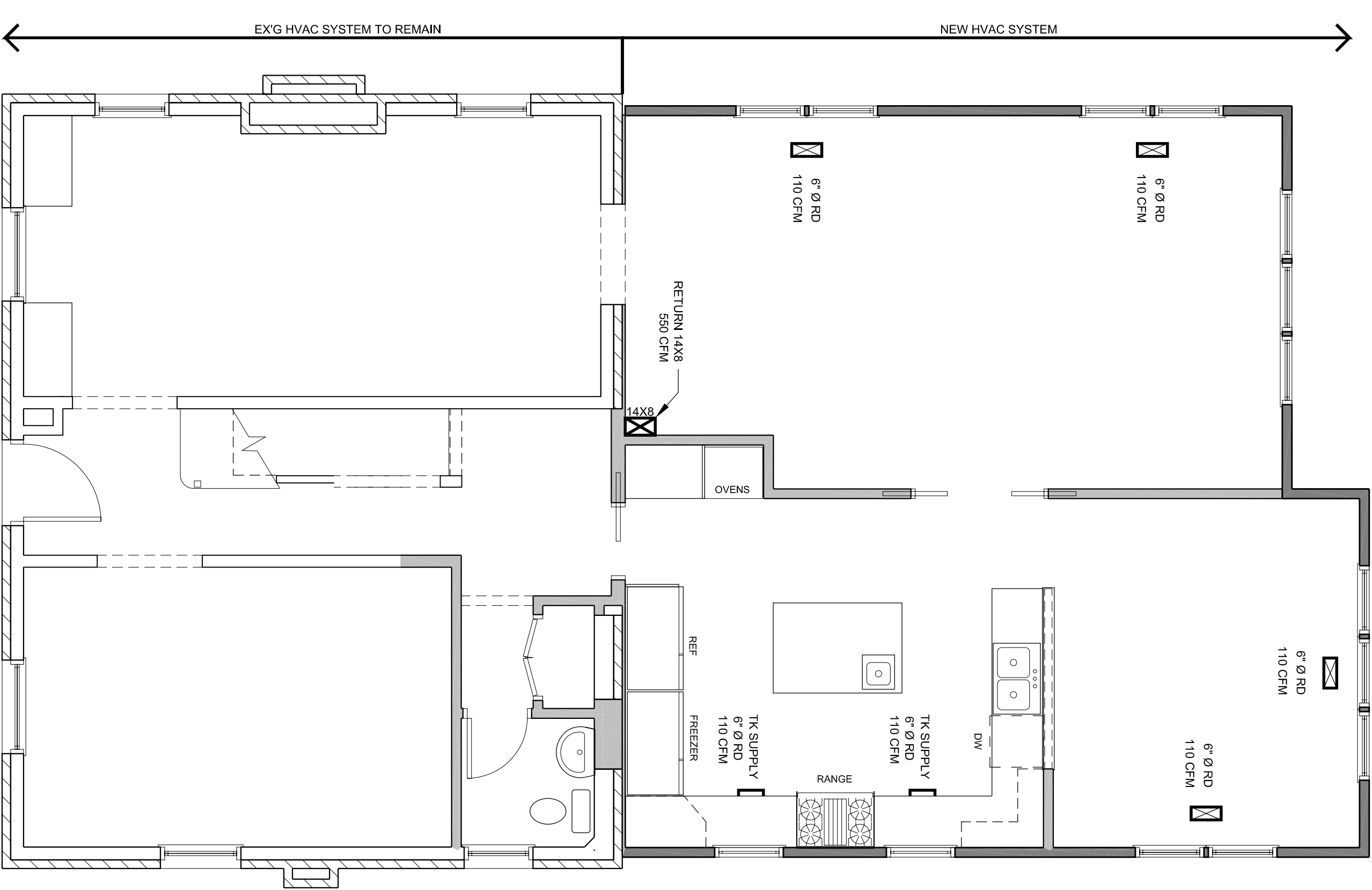
3 WATER RISER DIAGRAM  
NTS



4 SANITARY SEWER RISER DIAGRAM  
NTS

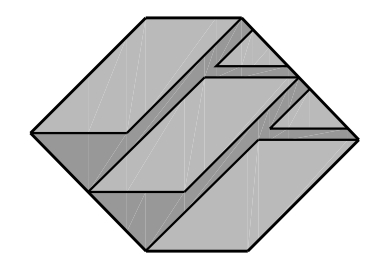


1 BASEMENT HVAC PLAN  
1/4\"/>



2 FIRST FLOOR HVAC PLAN  
1/4\"/>

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PHASE	DATE
DESIGN	2-22-12
STRUCT. REV.	8-8-12
PERMIT REV.	8-14-12
PERMIT	4-10-12

SHEET SCALE  
1/4\"/>

**RISER DIAGRAMS AND HVAC**

SHEET NUMBER  
**A-10.0**  
OF 10 TOTAL