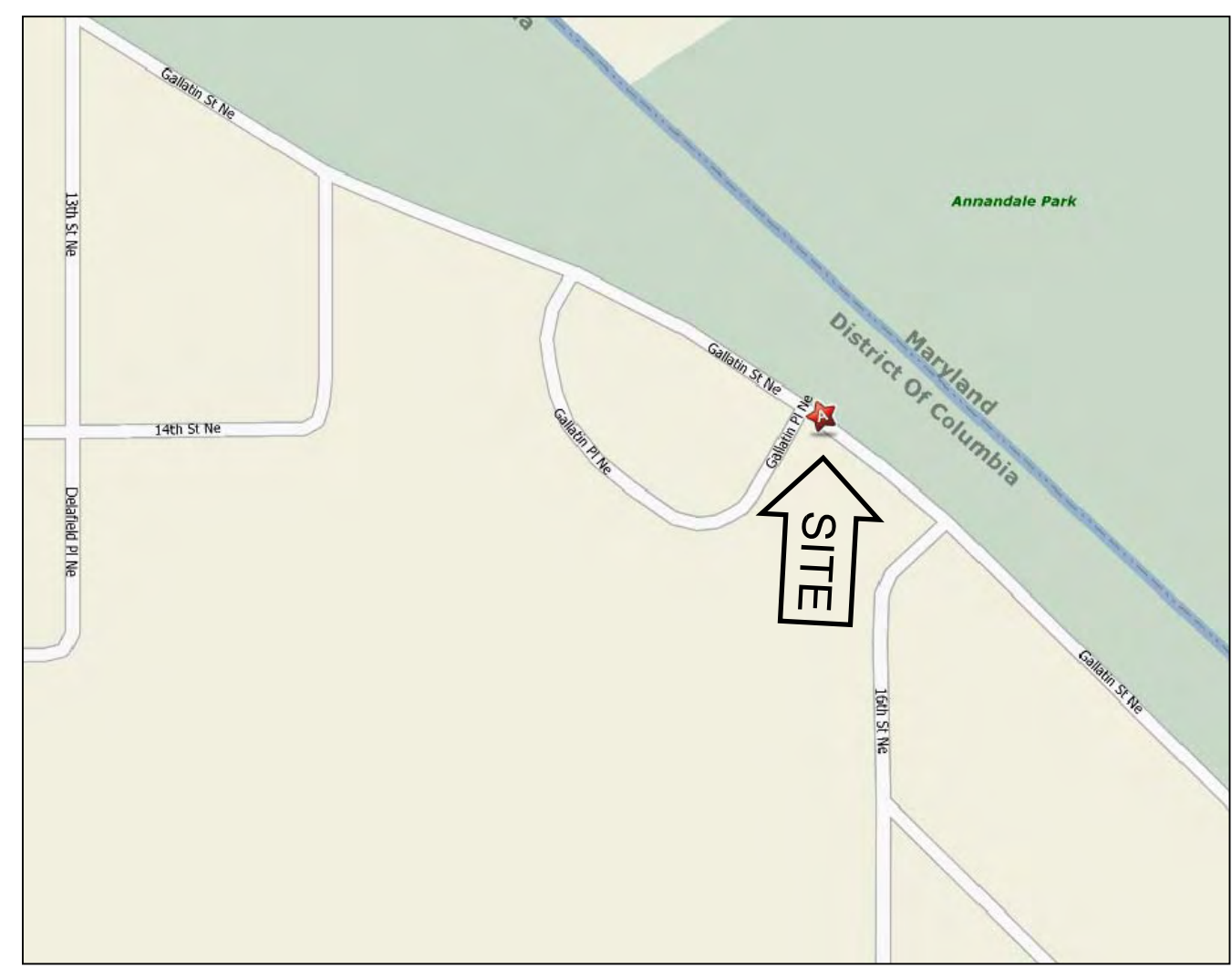


SHORT RESIDENCE

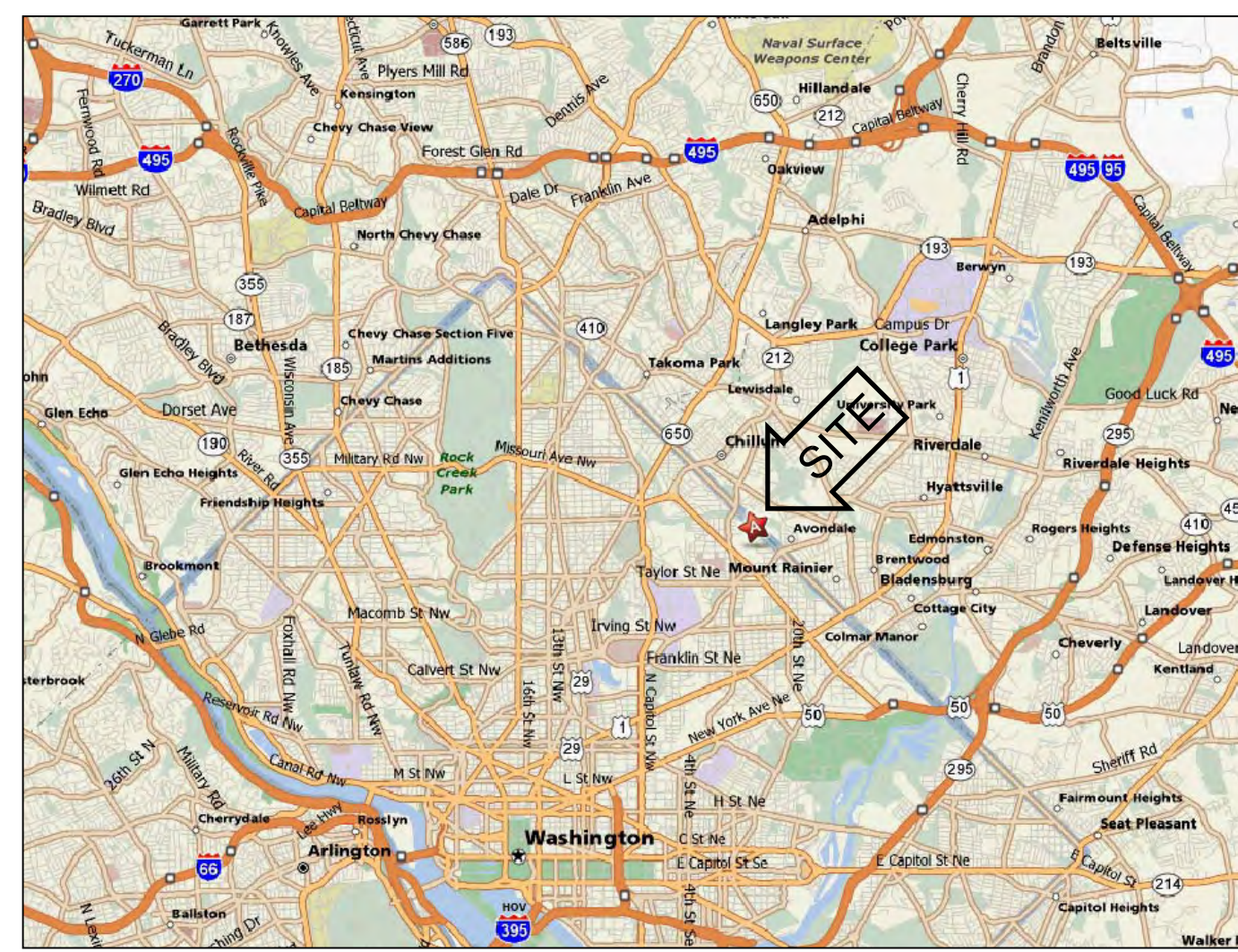
1509 GALLATIN ST NE
 WASHINGTON, DC 20017-3128
TWO-STORY REAR YARD ADDITION

ABBREVIATIONS		ABBREVIATIONS	
A	AREA	JST	JOIST
ABV	ABOVE	JCT	JUNCTION
ACT	ACTUAL	JBOX	JUNCTION BOX
ADD	ADDITION	K	KIP
AFF	ABOVE FINISHED FLOOR	K.D.	KILN DRIED
ADJ.	ADJUSTABLE	K.	KITCHEN
AC	AIR CONDITIONING	K.D.	KNOCK DOWN
AHU	AIR HANDLING UNIT	K.O.	KNOCK OUT
ALT.	ALTERNATE	LAM.	LAMINATE
ALUM.	ALUMINUM	LAI.	LAUNDRY
AMT.	AMOUNT	LAV.	LAVATORY
ANGL.	ANGLE	L.	LENGTH
APPR.	APPROVED	LG.	LONG
AB.	ANCHOR BOLT	LEV.	LEVEL
A.P.	ACCESS PANEL	LF	LIGHT
APPROX.	APPROXIMATE	L.F.	LINEAR FOOT
A.D.	AREA DRAIN	L. CL.	LINEAR CLOSET
AUTO	AUTOMATIC	LL	LEVEL LOAD
AVG	AVERAGE	LV.	LOUVER
B	BASE	LIB.	LIBRARY
BSMT.	BASEMENT	LDG.	LANDING
BATH	BATH	LN.	LINEAR
BRM.	BEDROOM	LINO.	LINOLEUM
BM	BENCH MARK	L.R.	LIVING ROOM
BEL	BELOW	LUM.	LUMBER
BTW.	BETWEEN	LV.	LOW VOLTAGE
BRG.	BEARING	LB.	POUND
BIT.	BITUMINOUS	L.L.H.	LONG LEG HORIZONTAL
BEV.	BEVEL	L.L.V.	LONG LEG VERTICAL
BLK.	BLOCK	M	METER
BLKG.	BLOCKING	M.	MILE
BD.	BOARD	MAH.	MAHOAGNY WOOD
BDT.	BOTTOM	MFG.	MANUFACTURER
B.S.	BOTH SIDES	MANUF.	MANUFACTURER
B.W.	BOTH WAYS	MRB.	MARBLE
BRKT.	BRACKET	M.C.	MEDICINE CABINET
BRK.	BRICK	MAS.	MASONRY
B.R.L.	BUILDING RESTRICTION LINE	M.O.	MASONRY OPENING
B.L.T.N.	BUILT IN	MATL.	MATERIAL
X	BY	MAX.	MAXIMUM
BLDG.	BUILDING	MED.	MEDIUM
BUR.	BUILT UP ROOFING	MECH.	MECHANICAL
CAB.	CABINET	MEMB.	MEMBRANE
CALL	CALLING	MT	METAL
CPT.	CARPET	MEZZ.	MEZZANINE
C.I.	CAST IRON	MIR.	MIRROR
CR.	CIRCLE	MILL.	MILLION
CHK.	CHECK	NAT.	NATURAL
CLO.	CLOSET	NOM.	NOMINAL
C.C.	CENTER TO CENTER	N.	NORTH
C.T.	CERAMIC TILE	NA	NOT APPLICABLE
COMB.	COMBINATION	NO. (#)	NUMBER
COM.	COMMON	N.I.C.	NOT IN CONTRACT
COMP.	COMPOSITION	N.T.S.	NOT TO SCALE
CO.	CLEAN OUT	N.Y.A.	NO WORK AREA
CLR.	CLEARANCE	OFF.	OFFICE
CLO.	CLOSET	O.C. (OC)	ON CENTER
COL.	COLUMN	OPG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	OV.	OVERALL
CONST.	CONSTRUCTION	O.Z.	OUTSIDE DIAMETER
CONT.	CONTINUE (D) (OUS)	O.F.	OUTSIDE FACE
CONTR.	CONTRACTOR	O.VHD	OVERHEAD
C.J.T.	CONTROL JOINT	O.P.C.I.	OWNER PROVIDED CONTRACTOR INSTALLED
CRS.	COURSES	PTD.	PAINTED
C.U.F.T.	CUBIC FEET	P.C.	PULL CHAIN
C.U.Y.D.	CUBIC YARD	PBS.	PER BUILDER'S SPECS
CL.	CENTER LINE	PAR.	PANEL
DEGREE		P.NL	PANEL
DP.	DAMP PROOFING	PAR.	PARALLEL
DK.	DECKING	PER	PER
D.L.	DEAD LOAD	PERM.	PERMANENT
DET.	DETAIL	PERP.	PERPENDICULAR
DIAG.	DIAGONAL	PART.	PARTITION
DIA.	DIAMETER	PAYM.	PAYMENT
DM.	DIMENSION	PLAS.	PLASTER
DISPOS.	DISPOSAL	PL.	PLATE
DH.	DITTO	PLMB.	PLUMBING
DN.	DOWN	PLYWD.	PLYWOOD
DW.	DISHWASHER	PLY.	PLYWOOD
DIV.	DIVISION	POLY.	POLYETHYLENE
DR.	DOOR	PLAST.	PLASTIC
D.W.	DRYWALL	PLAS LAM.	PLASTIC LAMINATE
DBL.	DOUBLE	PRELIM.	PRELIMINARY
DSGN.	DESIGN	PTD.	PAINTED
D.S.	DOWN SPOUT	PVC.	POLYVINYL CHLORIDE
DRAIN	DRAIN	P.C.	PORLAND CEMENT
DWG.	DRAWING	P.F.S.	POUNDS PER SQUARE FOOT
DRY.	DRYER	PSI	POUNDS PER SQUARE INCH
EA.	EACH	PROP.	PROPERTY
E.F.	EACH FACE	QTY.	QUANTITY
E.W.	EACH WAY	R.	RADIUS
E.	EAST	R.	RADIUS
EL.	ELBOW	R.	RISER
ELEC.	ELECTRICAL	RF.	ROOF
ELEV.	ELEVATION	RGH.	ROUGH
EMER.	EMERGENCY	RD.	ROUND
ENCL.	ENCLOSURE	REC.	RECEPTACLE
ENGL.	ENGINEERING	RECP.	RECESSED
ENR.	ENGINEER (STRUCTURAL)	REF.	REINFORCING
ENT.	ENTRANCE	REBAR.	REINFORCING BAR
EST.	ESTIMATE	REFRIG.	REFRIGERATOR
ESTABLISHED		REG.	REGISTER
EQ.	EQUAL	RET.	RETURN
EQUIP.	EQUIPMENT	REQD.	REQUIRED (ING)
ETC.	ETCETERA	RDG.	RIDGE
EXG.	EXIST (ING)	REV.	REVISED
EXIST	EXIST (ING)	RFG.	ROOMS
EXHGT.	EXISTING	RM.	ROOM
EXP.	EXPANSION	R.O.	ROUGH OPENING
EX.	EXPOSED	RUBB.	RUBBER
EXC.	EXCAVATE	SCRM.	SCREEN
EXT.	EXTERIOR	SCHD.	SCHEDULE
EXTN.	EXTENSION	SDG.	SIDING
E.F.	EXHAUST FAN	SECT.	SECTION
EXP. JT.	EXPANSION JOINT	SF.	SQUARE FEET
F.B.	FACE BRICK	SHT.	SHEET
F.O.S.	FACE OF STUD	SHTG.	SHOOTING
FT. (')	FEET OR FOOT	SH.	SHOWER
FIN	FINISH	SH.	SINGLE HUNG
FIN FL.	FINISHED FLOOR	SML.	SIMILAR
FIN GRD.	FINISHED GRADE	SL.	SLIDING
FIN OPN.	FINISHED OPENING	S.C.	SOLID CORE
FRBK.	FIRE BRICK	S.	SOUTH
FP.	FIRE PROOF	SP.	SOUTHERN PINE
F.P.	FIRE PLACE	SPR.	SPRUCE-PINE-FIR
FIBGL.	FIBERGLASS	SPEC.	SPECIFICATIONS
F.R.	FIRE RATED	SO	SQUARE
FXT.	FIXTURE	SQ.FT.	SQUARE FEET
FL.	FLOOR	SQ.IN.	SQUARE INCH
FLR.	FLOOR	S.S.	STAINLESS STEEL
FLJST.	FLOOR JOIST	STK.	STOCK
F.D.	FLOOR DRAIN	STD.	STANDARD
FLUR.	FLOURESCENT	STL.	STEEL
FTG.	FOOTING	STO.	STORAGE
FDN.	FOUNDATION	STR.	STRUCTURE
FRMG.	FRAMING	STRUC.	STRUCTURAL
FUR.	FURRING AS NEEDED	SUB.	SUBSTITUTE
G	GAS	SUP.	SUPPLY
GA.	GARAGE	SUR.	SURFACE
GALV.	GALVAIZED	SYM.	SYMMETRICAL
GAL.	GALLON	SYS.	SYSTEM
GAR.	GARAGE	T.	TREAD
GRD.	GIRDER	THR.	THRUST
GL.	GLASS	THRM.	THERMOSTAT
GLAZ.	GLAZE	THRU.	THROUGH
GRD.	GRADE (EARTH)	TOL.	TONNET
GRM.	GRADE BEAM	TEL.	TELEPHONE
GR.	GRILL	TV.	TELEVISION
GND.	GROUND	TECH.	TECHNICAL
GFDI	GROUND FAULT CIRCUIT INTER.	TBD	TO BE DETERMINED
GVL.	GRAVEL	T.O.	TOP OF WALL
GYP.	GYPSUM	T.W.	TOP OF STEEL
G.W.B.	GYPSON WALL BOARD	T.O.S.	TOP OF SLAB
H.C.	HOLLOW CORE	TOT.	TOTAL
HDBD.	HARDBOARD	TYP.	TYPICAL
HDWR.	HARDWARE	THK.	THICK
HDWD.	HARDWOOD	THR.	THRESHOLD
H.V.A.C.	HEAT VENTILATION/AIR COND.	T&G.	TONGUE AND GROOVE
HDR.	HEADER	U.N.O.	UNLESS NOTED OTHERWISE
HD.	HEAD	UTL.	UTILITY
HVY.	HEAVY	VAN.	VANITY
HT.	HEIGHT	V.B.	VAPOR BARRIER
H.B.	HOSE BIBB	V.P.	VENT PIPE
H.W.H.	HOT WATER HEATER	VENT.	VENTILATION
HR.	HOUR	VERT.	VERTICAL
H.	HOLE	VEST.	VESTIBULE
I	IRON	VF.	VERIFY IN THE FIELD
INCAN.	INCANDESCENT	V.N.	VINYL
IRC.	INTERNATIONAL RESIDENTIAL CODES	W.	WEST
IN (')	INCH	W.	WIDTH
INCL.	INCLUDE	WDW.	WINDOW
INSF.	INSPECTION	WF.	WIDE FLANGE
INST.	INSTALL	WSC.	WANSOAT
ID.	INSIDE DIAMETER	WM.	WASHING MACHINE
INSUL.	INSULATION	W.S.	WASTE STACK
INT.	INTERIOR	WC.	WATER CLOSET
INV.	INVERT	W.P.	WHITE PINE
IPM.	INSTALL PER MANUFACTURERS INSTRUCTIONS	W.P.	WATER PROOFING
IPIS.	INSTALL PER INDUSTRY STANDARDS	WHL.	WEEP HOLE
IPOL.	INSTALL PER OWNERS INSTRUCTIONS	WT.	WEIGHT
IPSR.	INSTALL PER STRUCTURAL ENGINEERS INSTRUCTIONS	W.W.F.	WELDED WIRE FABRIC
JMB.	JAMB	W.	WITH
JT.	JOINT	W/O.	WITHOUT
JST.	JOIST	WOD.	WOOD
		W.I.	WRIGHT IRON
		YD.	YARD
		YF.	YELLOW PINE

2 STREET MAP NTS



3 VICINITY MAP NTS



DRAWING CONTENTS-PERMIT DRAWINGS	
G-1.0	PROJECT INFO, DWG. CONTENTS, ABBREVIATIONS, SITE PLAN, STREET & VICINITY MAP
G-1.1	SEDIMENT CONTROL
A-1.0	FLOOR PLANS WITH DEMO
A-1.1	PROPOSED FLOOR PLANS
A-2.0	BUILDING SECTION, ROOF PLAN AND SCHEDULES
A-3.0	ELEVATIONS WITH DEMO AND PROPOSED ELEVATIONS
S-1.0	FOUNDATION PLAN, FIRST & SECOND FLOOR FRAMING PLANS
S-1.1	ROOF FRAMING PLAN AND DETAIL
S-2.0	WALL SECTION DETAILS
S-3.0	STRUCTURAL NOTES
E-1.0	ELECTRICAL FLOOR PLANS
M-1.0	HVAC DIAGRAMS
M-1.1	PLUMBING RISER DIAGRAMS

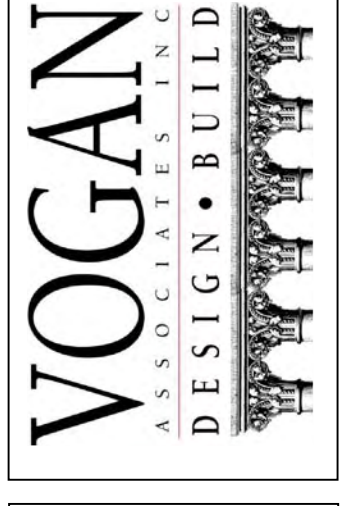
WASHINGTON, DC	
WALL LEGEND	GENERAL NOTES
<p>EXISTING BRICK WALL TO REMAIN: [Symbol]</p> <p>NEW CMU WALL: [Symbol]</p> <p>EXISTING WD FRAME WALLS TO REMAIN: [Symbol]</p> <p>NEW TYPICAL EXTERIOR WALL: 2 x 4 WOOD STUD @ 16" O.C. W/ 5/8" OSB SHEATHING, HOUSE WRAP, R13 BATT. INSUL., 1/2" PAINTED DRYWALL AND EXTERIOR FINISHES ACCORDING TO BUILDER'S SPECS</p> <p>NEW TYPICAL INTERIOR WALL: 2 x 6 OR 2 x 4 WOOD STUD @ 16" O.C. W/ 5/8" PAINTED DRYWALL ON BOTH SIDES UNLESS NOTED OTHERWISE</p> <p>DEMO WALLS: [Symbol]</p>	<p>DIMENSIONS SHOWN FOR:</p> <p>1. EXISTING CONDITIONS ARE TO THE FACE OF EXISTING FINISHES - UNO</p> <p>2. NEW WORK CONDITIONS ARE TO THE FACE OF ROUGH SURFACES - UNO</p> <p>ACTUAL DIMENSIONS MUST BE FIELD VERIFIED AND ADJUSTED AS NEEDED. ALL ADJUSTMENTS MUST BE APPROVED BY THE OWNERS.</p> <p>THE BUILDER'S WRITTEN CONTRACT SPECIFICATIONS HAVE PRECEDENCE OVER ALL INFORMATION SHOWN IN THIS DRAWING SET.</p> <p>WRITTEN DIMENSIONS IN THE DRAWINGS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS!</p> <p>VIF = BUILDER TO VERIFY IN THE FIELD AND ADJUST DIMENSIONS, MATERIALS OR CONSTRUCTION TECHNIQUES TO INSURE THE INTEGRITY OF THE DESIGNER'S INTENT</p> <p>CLWO = CONFIRM LOCATION WITH OWNERS' PRIOR TO ROUGH-IN OR INSTALLATION</p> <p>BUILDER NOTES: BUILDER MUST UNDERSTAND AND ACCEPT WHAT "VIF" MEANS. ASK THE DESIGNER FOR ALL CLARIFICATIONS PRIOR TO PERFORMING ANY WORK. A "PRECONSTRUCTION DRAWING REVIEW" MEETING IS SUGGESTED.</p>
BUILDING CODES AND STANDARDS	DRAWING SYMBOLS
<p>BUILDING CODE - IRC INTERNATIONAL RESIDENTIAL CODE / 2000 WITH AMENDMENTS</p> <p>ENERGY AND MECHANICAL CODE - 2000 INTERNATIONAL ENERGY CONSERVATION CODE & 2000 INTERNATIONAL MECHANICAL CODE</p> <p>ELECTRICAL CODE - NATIONAL ELECTRIC CODE / 1996</p> <p>PLUMBING AND GAS CODE - INTERNATIONAL / 2000</p> <p>LIFE-SAFETY - NFPA-101 / 1997</p> <p>FIRE ALARM CODE - NFPA-72 / 1996</p> <p>SPRINKLER CODE - NFPA-13 / 1996</p> <p>RESIDENTIAL SPRINKLER - NFPA-13D & 13R / 1996</p> <p>ACCESSIBILITY - COMAR 05.02.02, ADAAG & FFHAG</p>	<p>[Symbol] REFERENCE NOTE: GENERAL INFORMATION</p> <p>[Symbol] REFERENCE NOTE: DEMOLITION INFORMATION</p> <p>[Symbol] REFERENCE NOTE: CRITICAL INFORMATION-CRITICAL DIMENSION, ALIGNMENT, HEIGHT OR OTHER ITEM TO CHECK CAREFULLY IN THE FIELD.</p> <p>[Symbol] WINDOW TAG</p> <p>[Symbol] DOOR TAG</p> <p>[Symbol] REVISION TAG</p>
RESIDENTIAL DESIGN PARAMETERS	CONSULTANTS
<p>GROUND SNOW LOAD - 30 PSF</p> <p>WIND SPEED - 90 MPH</p> <p>SEISMIC DESIGN CATEGORY - B</p> <p>WEATHERING - SEVERE</p> <p>FROST LINE DEPTH - 30 IN</p> <p>TERMITE - MODERATE TO HEAVY</p> <p>DECAY - SLIGHT TO MODERATE</p> <p>WINTER DESIGN TEMP - 13'</p> <p>ICE SHIELD UNDER-LAYMENT - YES</p> <p>FLOOD HAZARDS - YES</p> <p>AIR FREEZING INDEX - 300</p> <p>MEAN ANNUAL TEMP - 55</p> <p>DESIGN LIVE LOAD VALUES:</p> <p>ATTIC 20 PSF</p> <p>DWELLING 40 PSF</p> <p>SLEEPING ROOMS 30 PSF</p> <p>EXTERIOR BALCONIES 60 PSF</p> <p>GARAGE 60 PSF</p> <p>DECKS 40 PSF</p> <p>STAIRS 40 PSF</p>	<p>STRUCTURE:</p> <p>STRUCTURA INC. PHONE #: 301-967-9234, EXT. 103 FAX #: 301-967-9237</p> <p>SURVEYOR:</p> <p>MADDOX INC. PHONE #: 301-762-9001, EXT. 13 FAX #: 301-294-6418</p>

SHEET NUMBER
G-1.0
 1 OF 13 TOTAL
 SHEET TITLE
COVER SHEET GENERAL INFORMATION

SHEET SCALE	
X=1'-0" OR AS NOTED	
REVISIONS	
DATE	PHASE
6-04-08	EXG CONDITIONS
7-01-08	DESIGN REVIEW
7-22-08	PRICING SET
9-26-08	PERMIT
12-08-08	PLAN REVIEW/REVISIONS

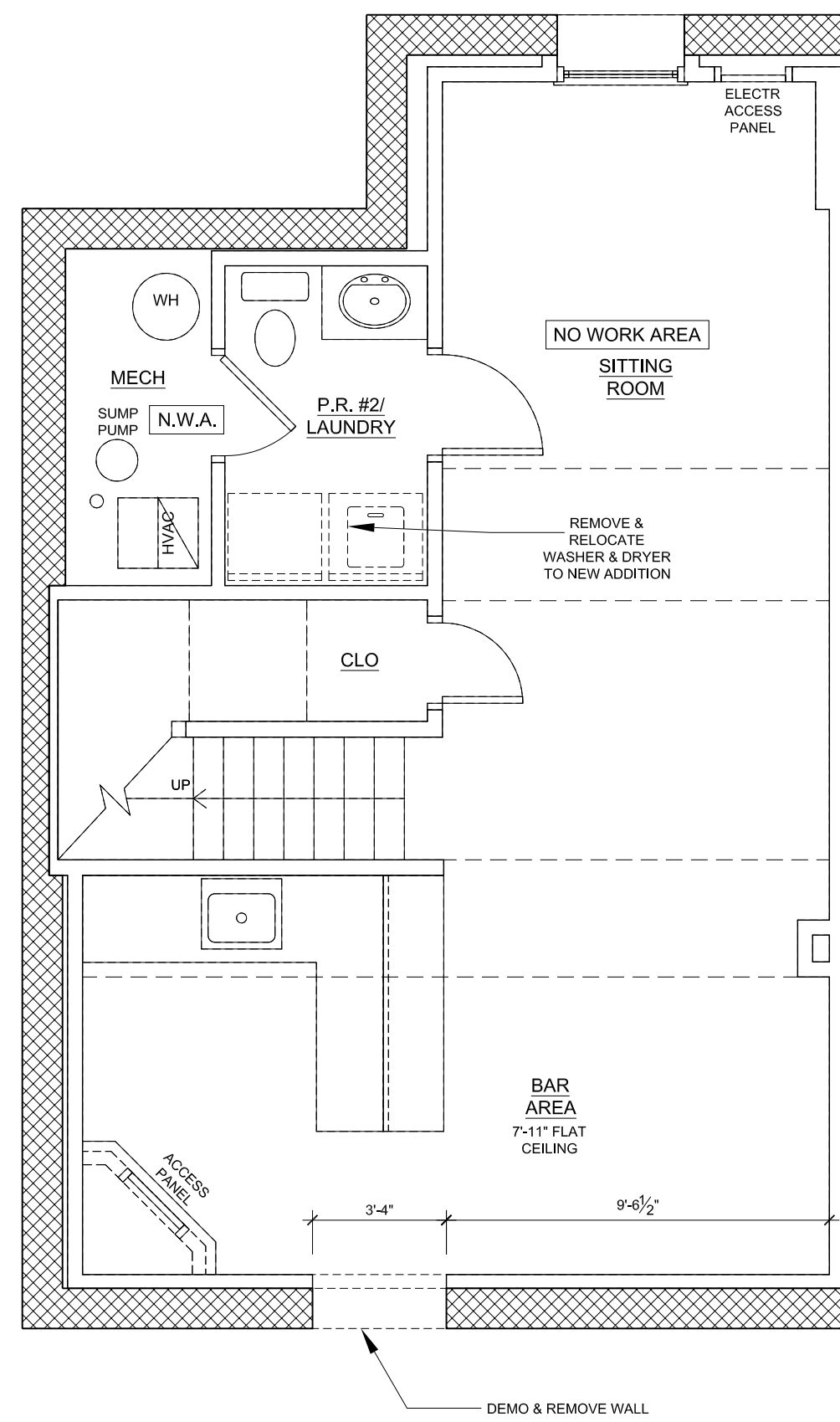
PROJECT TITLE
BILLIE L. SHORT RESIDENCE 1509 GALLATIN ST. NE WASH. DC 20017-3128 DISTRICT OF COLUMBIA

BUILDER
13004 WILTON OAK DRIVE SILVER SPRING MARYLAND 20906 OFFICE 301-929-2852 FAX 301-929-6226

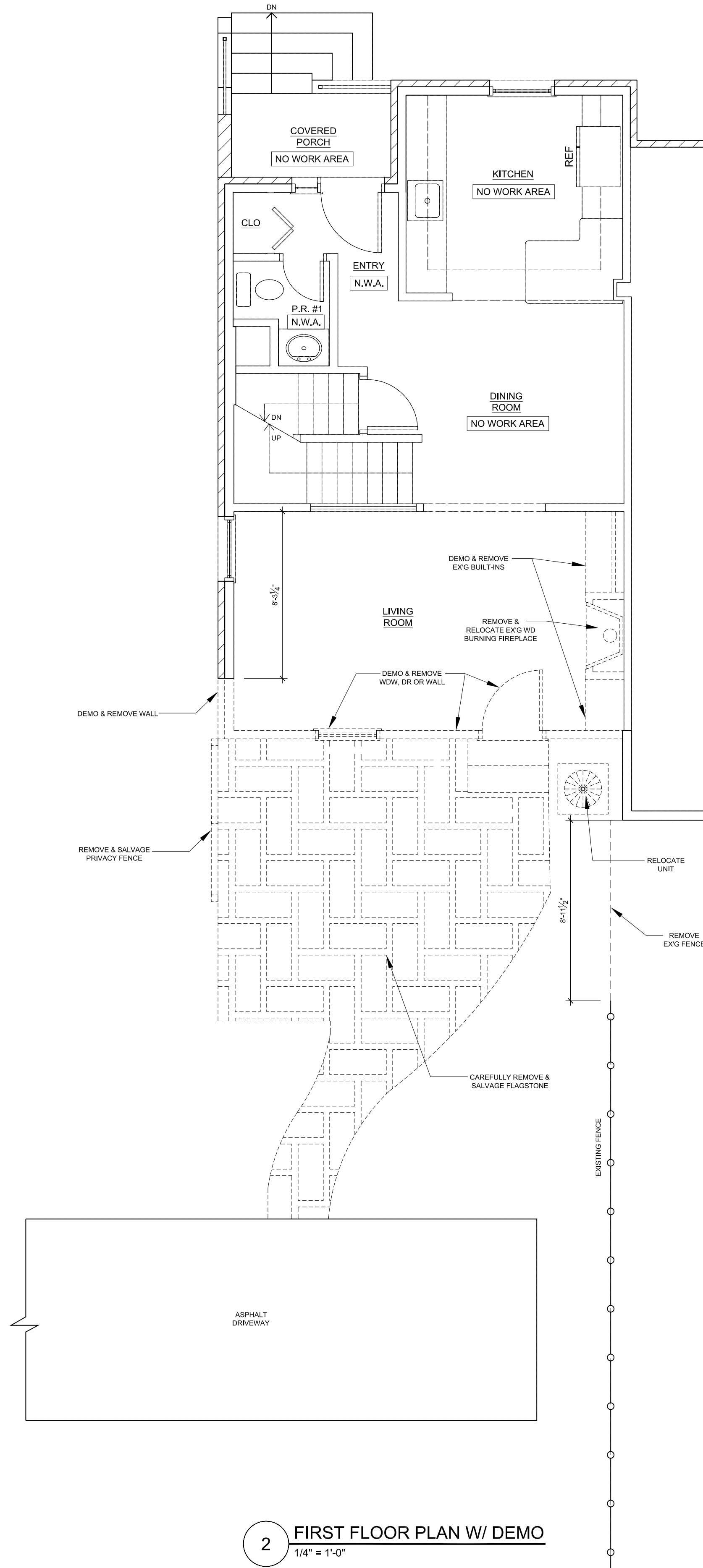


DESIGNER
M C D B

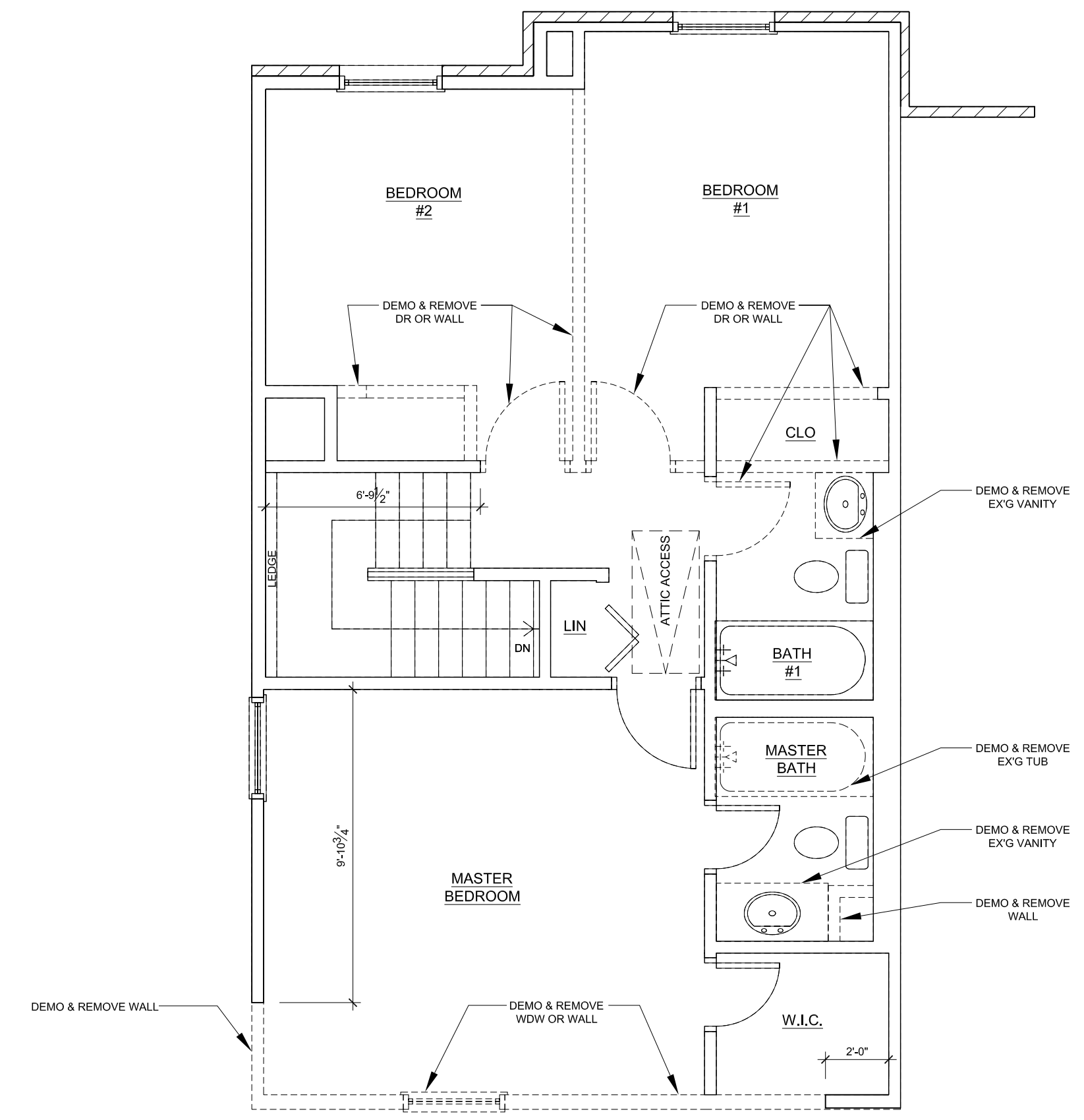
PL-19 - VOGAN ASSOCIATES INC. - 19010411 - 19010411 - COVER SHEET - 8-18-08 - Rev. January 07, 2009 - 3:10 PM



1 BASEMENT FLOOR PLAN W/ DEMO
1/4" = 1'-0"



2 FIRST FLOOR PLAN W/ DEMO
1/4" = 1'-0"



3 SECOND FLOOR PLAN W/ DEMO
1/4" = 1'-0"

PHASE	DATE
EX'G CONDITIONS	6-04-08
DESIGN REVIEW	7-01-08
PRICING SET	7-22-08
PERMIT	8-26-08
PLAN REVIEW REVISIONS	12-03-08

ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE. ALL TRADES FIELD VERIFY ALL PERMIT INFORMATION. CONDITIONS AND DIMENSIONS SHALL BE FIELD, I.E. THE BUILDER AND THE PROPERTY INFORMATION CONTAINED IN THIS DOCUMENT INCORPORATES PROVISIONAL EXHIBIT AND IS WITHOUT THE EXPRESS PERMISSION OF BIC DO NOT SCALE DRAWINGS

PROJECT TITLE

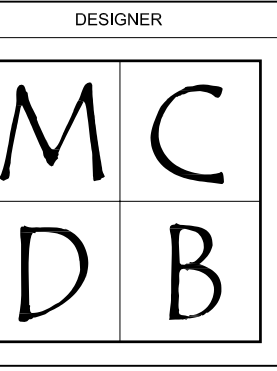
BILLIE L. SHORT
RESIDENCE
1509 GALLATIN ST. NE
WASH, DC 20017-5128
DISTRICT OF COLUMBIA

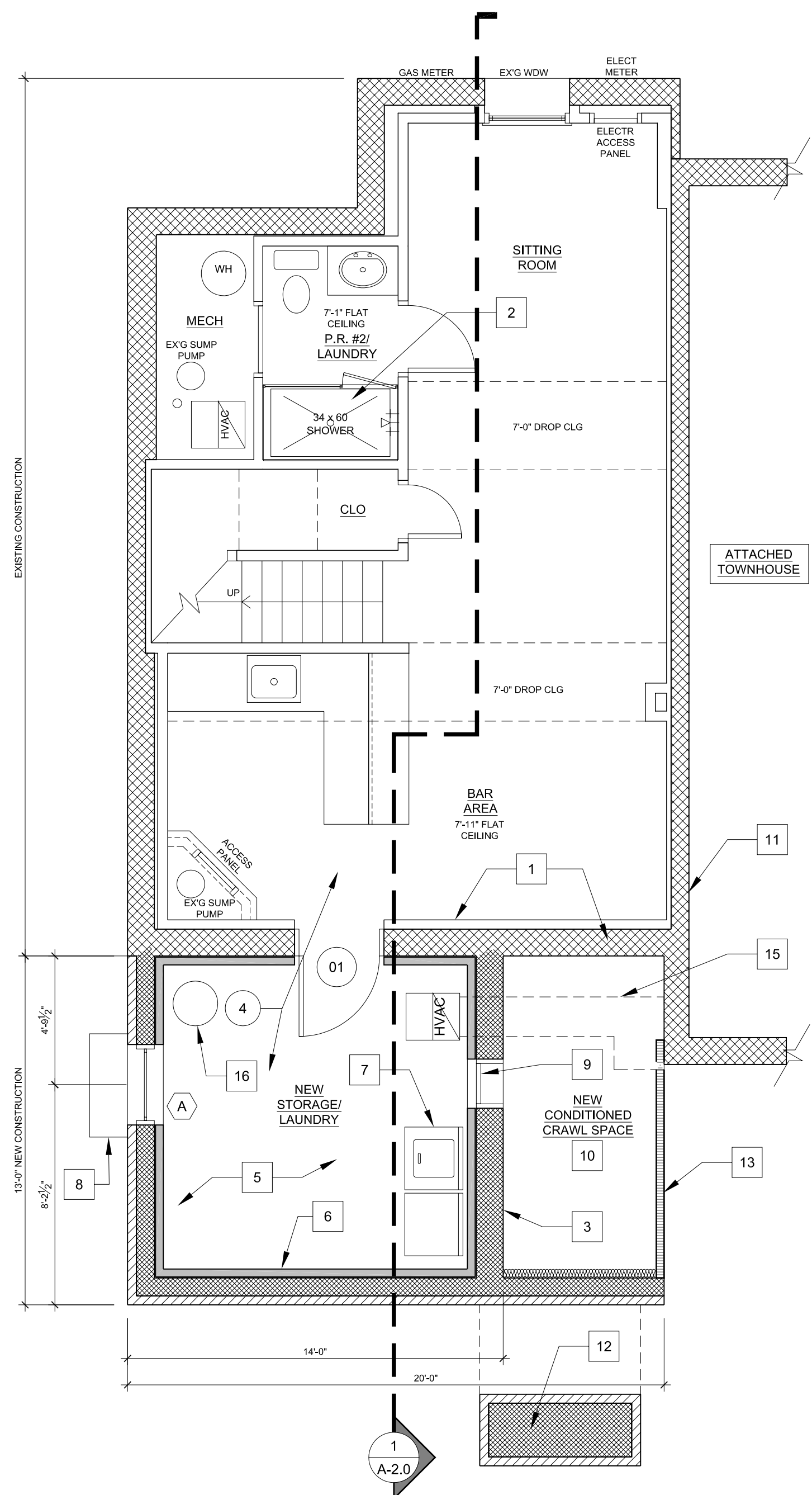
BUILDER

13004 WILTON OAK DRIVE
SILVER SPRING
MARYLAND 20906
OFFICE 301-929-2852
FAX 301-929-6220



DESIGNER

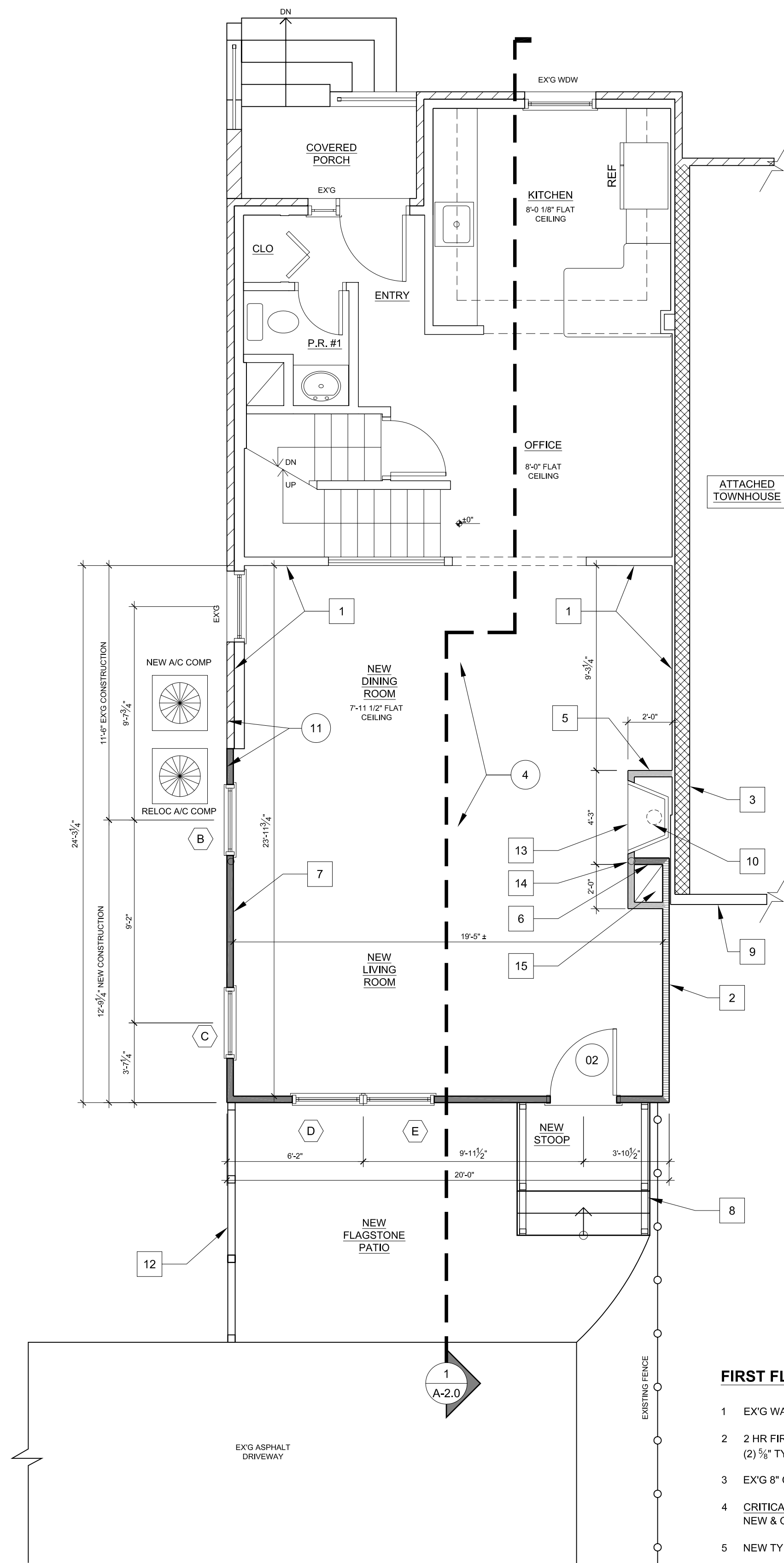




BASEMENT PLAN NOTES:

- 1 EX'G WALL TO REMAIN
- 2 NEW PREFAB SHOWER PAN AND TILE WALLS
- 3 NEW 12" CMU FDN WALL
- 4 CONC FLOORS TO ALIGN
- 5 CARPET & PAD ON CONC SLAB
- 6 NEW INT WALL: 2X4 @ 16" OC W/ R13 INSUL
- 7 RELOCATED ELECTRIC WASHER & DRYER
- 8 NEW WDW WELL AS NEEDED
- 9 CRAWL SPACE LOUVERED ACCESS PANEL PER IRC 2000
- 10 CRAWL SPACE W/ 2" CONC SLAB ON 6 MIL POLY V.B. & INSUL EXT WALLS
- 11 EX'G 8" CMU ADJOINING WALL
- 12 STAIR FOUNDATION
- 13 NON LOAD BEARING CRAWL SPACE PERIMETER WALL: PT 2X4 @ 16" OC ANCHORED TO CONC SLAB BELOW W/ (2) 5/8" TYPE-X D.W. EACH SIDE W/ R13 F.G. INSULATION
- 14 NOTE REMOVED
- 15 INSULATED HVAC DUCT
- 16 SUMP PUMP PIT - PROVIDE RADON MITIGATION SYSTEM IF REQUIRED

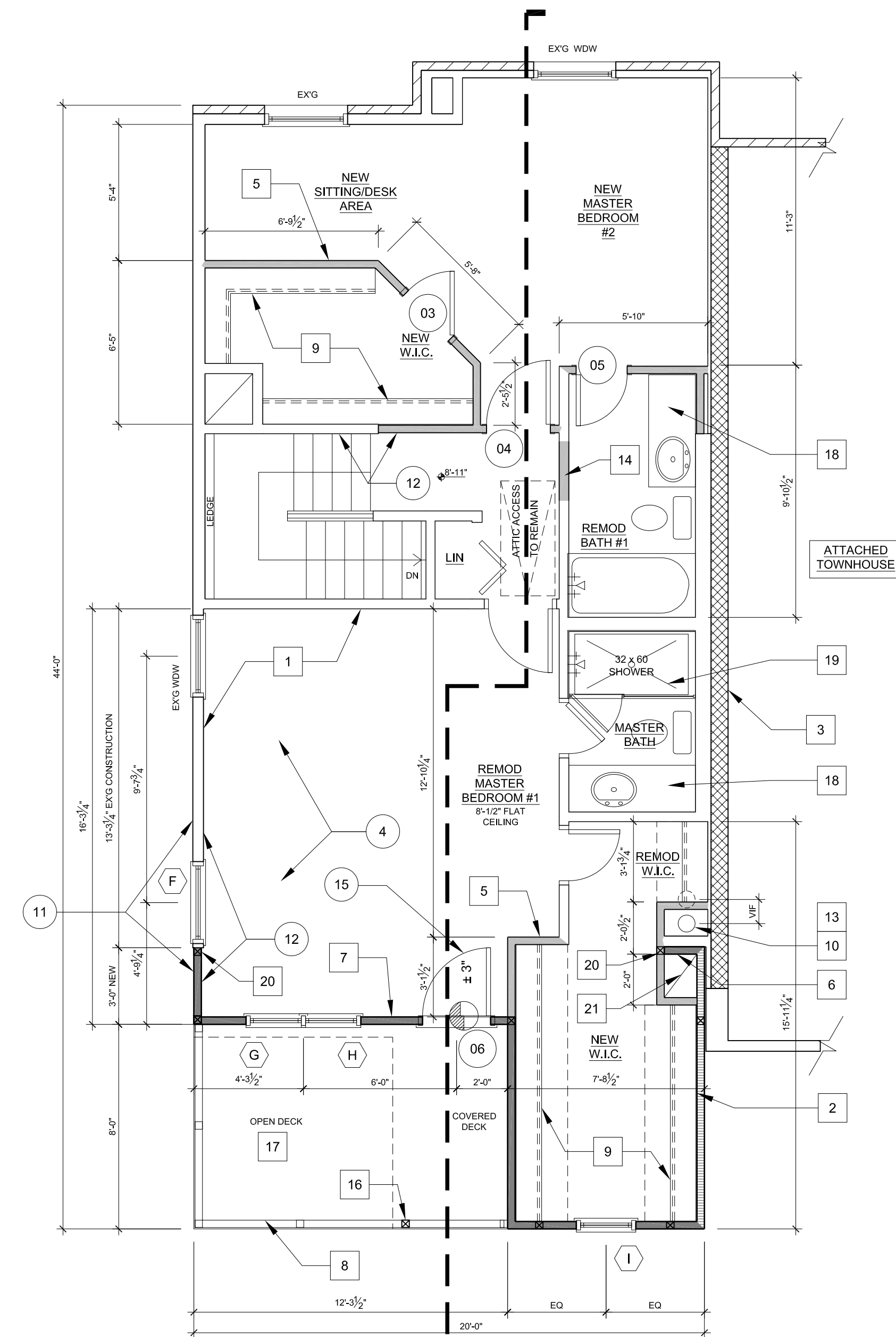
1 BASEMENT FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN NOTES:

- 1 EX'G WALL TO REMAIN
- 2 2 HR FIRE RATED CONSTRUCTION W/ (2) 5/8" TYPE-X D.W. EACH SIDE
- 3 EX'G 8" CMU ADJOINING WALL
- 4 CRITICAL ALIGNMENT: NEW & OLD FIN FLR & CLG TO ALIGN
- 5 NEW TYP INT WALL: 2X4 @ 16" OC
- 6 NEW LD BRG WALL: 2X4 @ 16" OC
- 7 NEW TYP EXT WALL: 2X4 @ 16" OC
- 8 NEW RAILING TYP PBS
- 9 EX'G WDW FRM EXT WALL
- 10 FIREPLACE FLUE W/ OFFSET TO 2 FLR
- 11 CRITICAL ALIGNMENT: ALIGN NEW SIDING W/ 2 FLR SIDING
- 12 NEW PRIVACY FENCE
- 13 FLUE & FIREPLACE TO BE REINSTALLED PER ALL MANUF'S INSTRUCTIONS
- 14 STL POST - SEE FRAMING PLAN
- 15 NEW VERT HVAC DUCT CHASE, SIZE TO BE VERIFIED BY HVAC CONTRACTOR

2 FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN NOTES:

- 1 EX'G WALL TO REMAIN
- 2 2 HR FIRE RATED CONSTRUCTION W/ (2) 5/8" TYPE-X D.W. EACH SIDE
- 3 EX'G 8" CMU ADJOINING WALL
- 4 CRITICAL ALIGNMENT: NEW & OLD FIN FLR & CLG TO ALIGN
- 5 NEW TYP INT WALL: 2X4 @ 16" OC
- 6 NEW LD BRG WALL: 2X4 @ 16" OC
- 7 NEW TYP EXT WALL: 2X4 @ 16" OC
- 8 TYP RAILING: PVC OR EQUAL RAIL SYSTEM
- 9 ONE SHELF & ONE ROD
- 10 NEW 10" Ø FIREPLACE FLUE W/ OFFSET THRU ROOF
- 11 CRITICAL ALIGNMENT: ALIGN NEW SIDING W/ 2 FLR SIDING
- 12 CRITICAL ALIGNMENT: ALIGN NEW & OLD WALL FINISH
- 13 FLUE & FIREPLACE TO BE REINSTALLED PER ALL MANUF'S INSTRUCTIONS
- 14 TYP. INFILL WALL
- 15 CRITICAL DIMENSION: RAISE DOOR THRESHOLD PER ROOF DECK SLOPE REQUIREMENTS
- 16 4X4 POST
- 17 OPEN DECK W/ DURADEK MEMBRANE INSTALLED PER MANUF'S INSTRUCTIONS
- 18 NEW VANITY AND TOP TBD
- 19 NEW PREFAB SHOWER PAN AND TILE WALLS
- 20 PSL POST - SEE FRAMING PLAN
- 21 NEW VERT HVAC DUCT CHASE, SIZE TO BE VERIFIED BY HVAC CONTRACTOR

3 SECOND FLOOR PLAN
1/4" = 1'-0"

PHASE	DATE
EX'G CONDITIONS	6-04-08
DESIGN REVIEW	7-01-08
PRICING SET	7-22-08
PERMIT	9-26-08
PLAN REVIEW REVISIONS	12-05-08

ALL CONTENTS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE. ALL TRADES FIELD VERIFY ALL PERMIT INFORMATION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. THESE DIMENSIONS SHALL BE THE BASIS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON SITE.

PROJECT TITLE

BILLIE L. SHORT
RESIDENCE
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WASH, DC 20017-5128
DISTRICT OF COLUMBIA

BUILDER

13004 WILTON OAK DRIVE
SILVER SPRING
MARYLAND 20906
OFFICE 301-929-2852
FAX 301-929-6220

VOGAN ASSOCIATES, INC.
DESIGN • BUILD

DESIGNER

M C
D B

PHASE	DATE
EXG CONDITIONS	6-04-08
DESIGN REVIEW	7-01-08
PRICING SET	7-22-08
PERMIT	9-26-08
PLAN REVIEW REVISIONS	12-05-08

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1509 GALLATIN ST. NE
WASH, DC 20017-5128
DISTRICT OF COLUMBIA**

BUILDER
**13004 WILTON OAK DRIVE
SILVER SPRING
MARYLAND 20906
OFFICE 301-929-2852
FAX 301-929-6220**

VOGAN
ASSOCIATES, INC.
DESIGN • BUILD

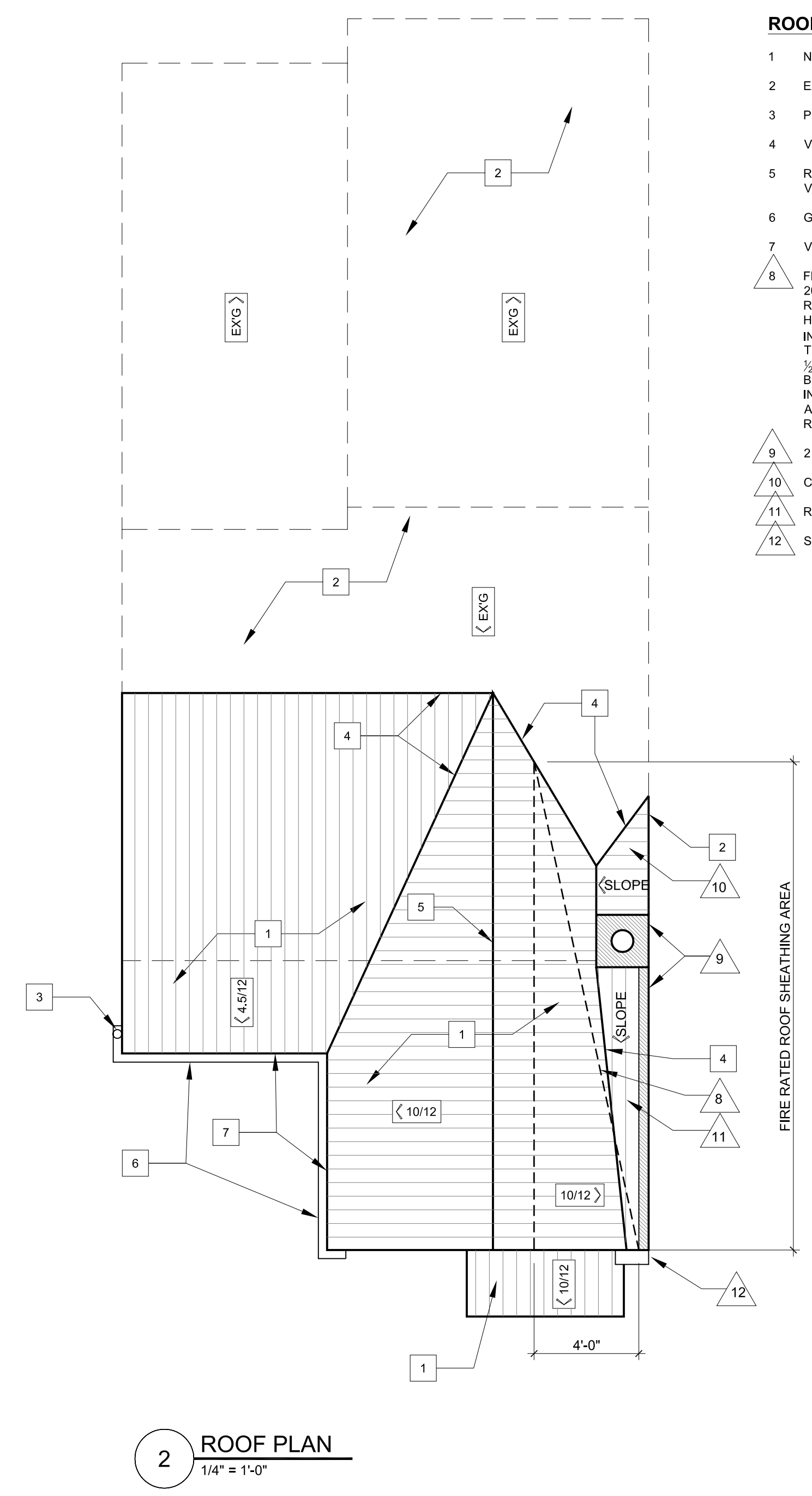
DESIGNER
**M C
D B**

WINDOW SCHEDULE

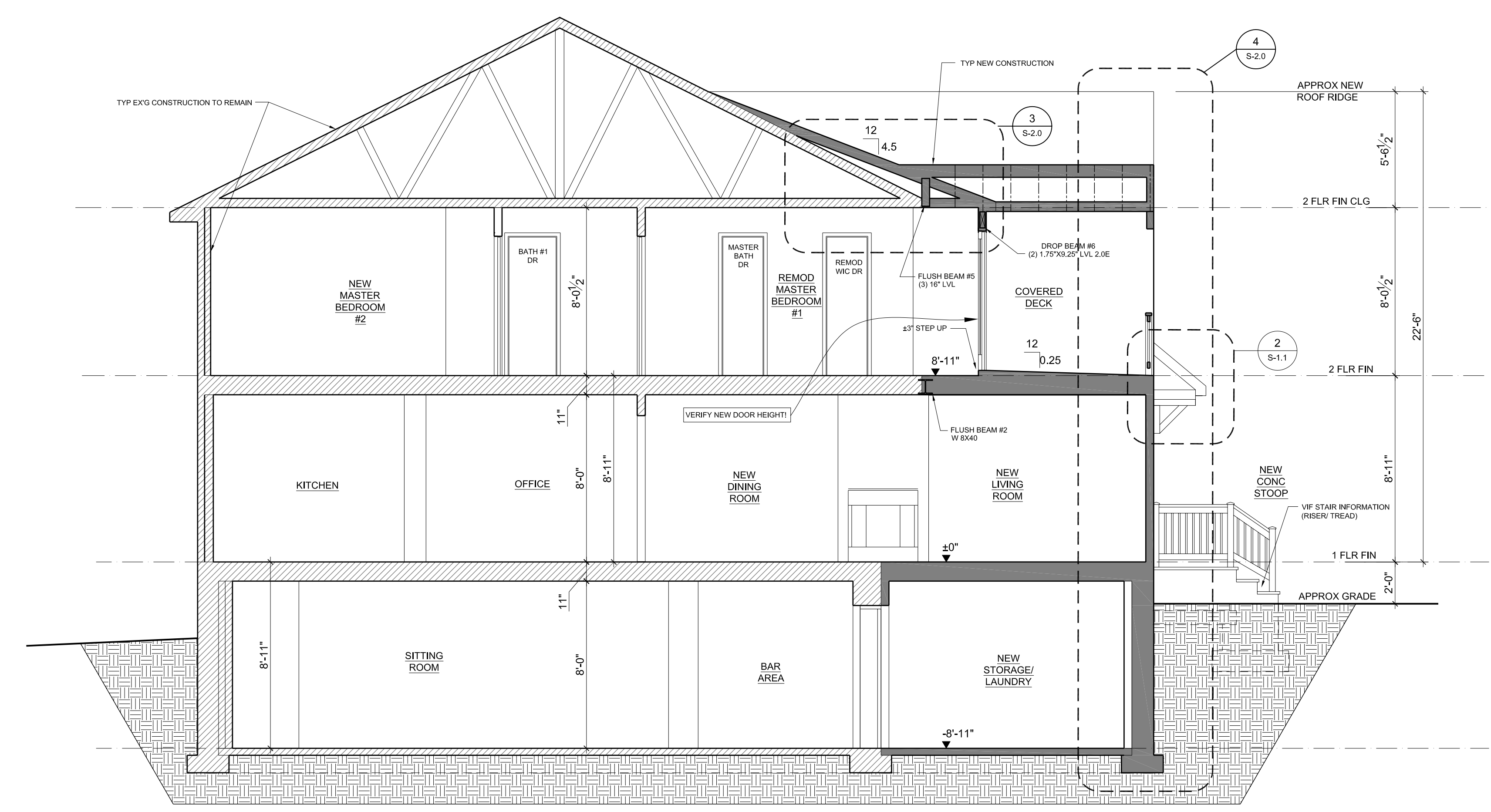
TAG	QTY	MANUFACTURER	ROUGH OPENING		HEAD HEIGHT	SAFETY GLASS REQ'D	EGRESS REQ'D	REMARKS	TAG
			WIDTH	HEIGHT					
A	1	WEATHERSHIELD OR EQUAL	36	24	7'-10"	NO	NO	AWNING - LAUNDRY ROOM	A
B	1	WEATHERSHIELD OR EQUAL	38.5	58	6'-10"	NO	NO	DOUBLE HUNG- LIVING ROOM	B
C	1	WEATHERSHIELD OR EQUAL	38.5	58	6'-10"	NO	NO	DOUBLE HUNG- LIVING ROOM	C
D	1	WEATHERSHIELD OR EQUAL	38.5	58	6'-10"	NO	NO	DOUBLE HUNG- LIVING ROOM	D
E	1	WEATHERSHIELD OR EQUAL	38.5	58	6'-10"	NO	NO	DOUBLE HUNG- LIVING ROOM	E
F	1	WEATHERSHIELD OR EQUAL	38.5	58	6'-10"	NO	NO	DOUBLE HUNG- MASTER BEDRM	F
G	1	WEATHERSHIELD OR EQUAL	28	58	6'-10"	NO	NO	DOUBLE HUNG- MASTER BEDRM	G
H	1	WEATHERSHIELD OR EQUAL	28	58	6'-10"	NO	NO	DOUBLE HUNG- MASTER BEDRM	H
I	1	WEATHERSHIELD OR EQUAL	28	58	6'-10"	NO	NO	DOUBLE HUNG- W.I.C.	I

DOOR SCHEDULE

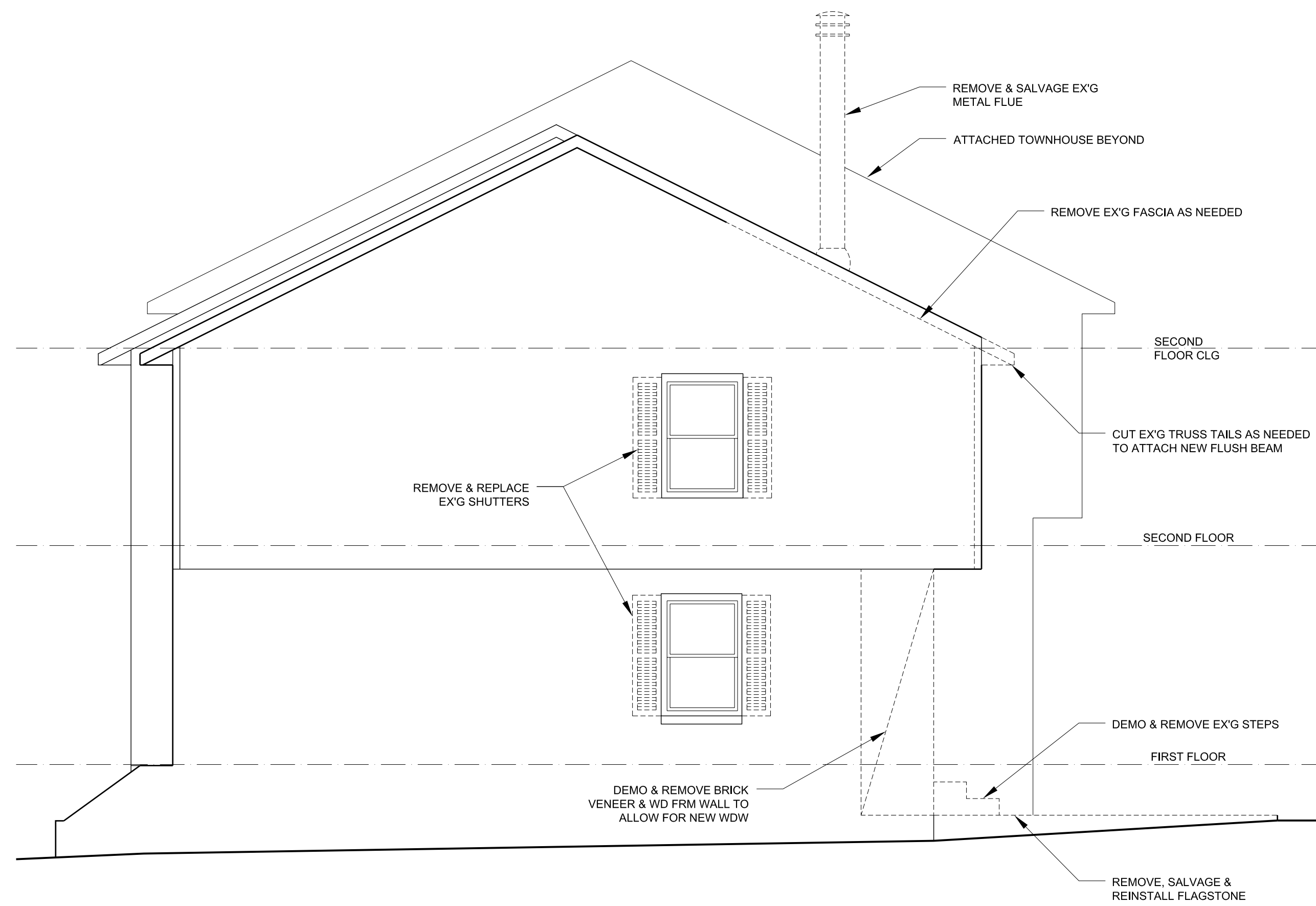
TAG	DOOR SIZE WxH	REMARKS
01	36 x 80	EXTERIOR
02	36 x 80	EXTERIOR
03	30 x 80	INTERIOR
04	30 x 80	INTERIOR
05	24 x 80	INTERIOR
06	32 x 80	FRENCH



2 ROOF PLAN
1/4" = 1'-0"



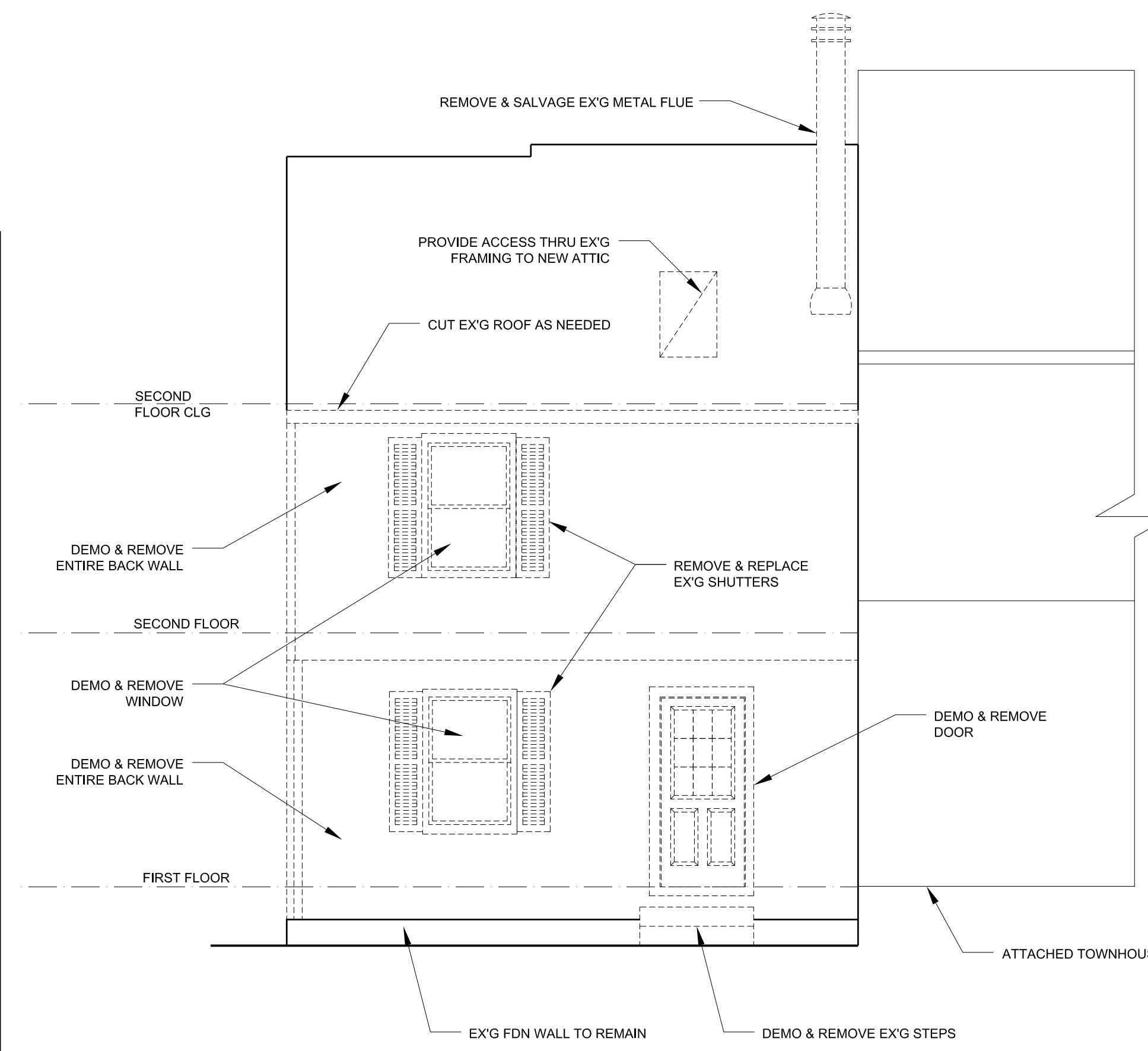
1 BUILDING SECTION
1/4" = 1'-0"



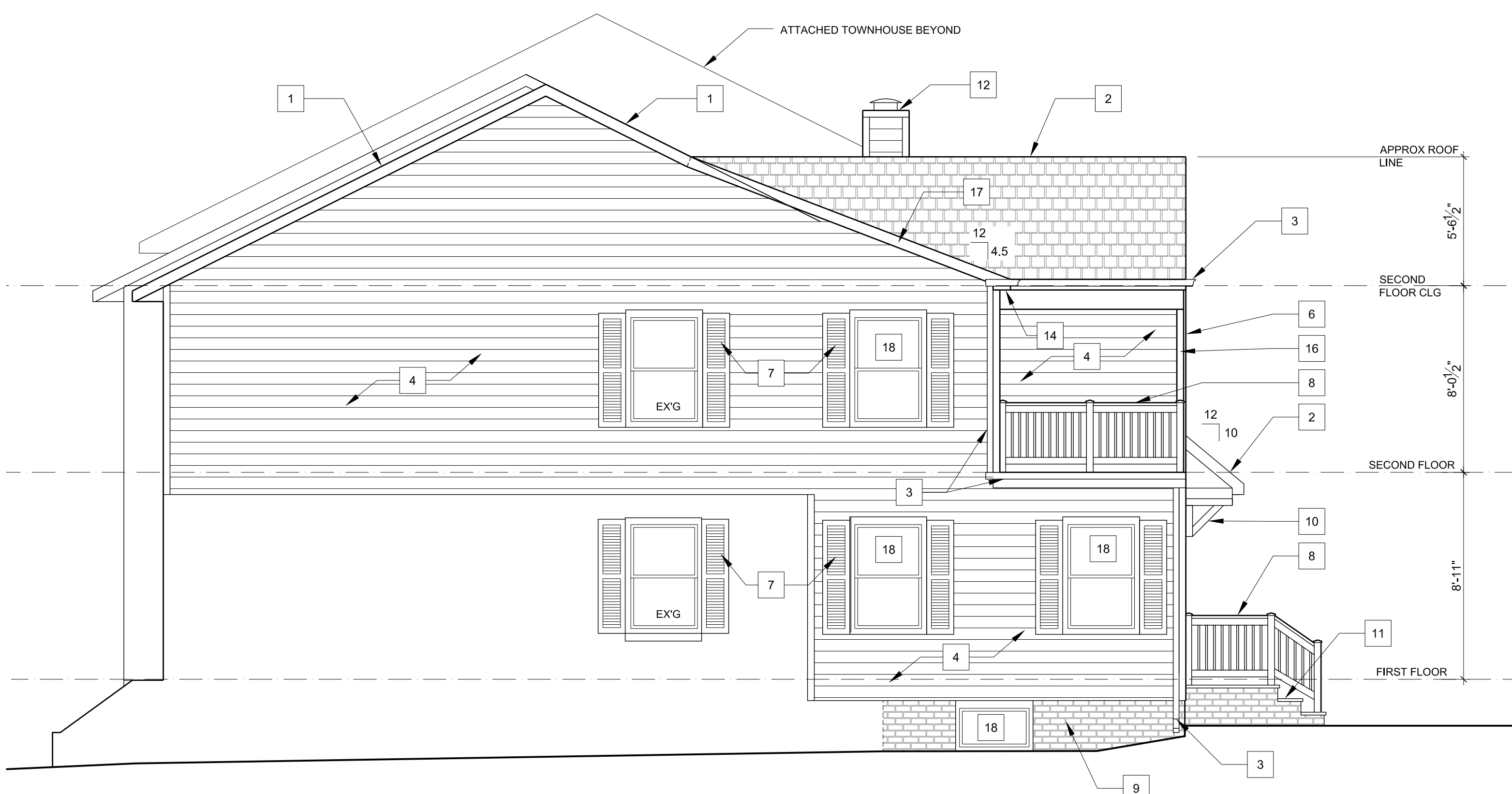
4 RIGHT ELEVATION W/ DEMO
1/4" = 1'-0"

NEW ELEVATIONS NOTES:

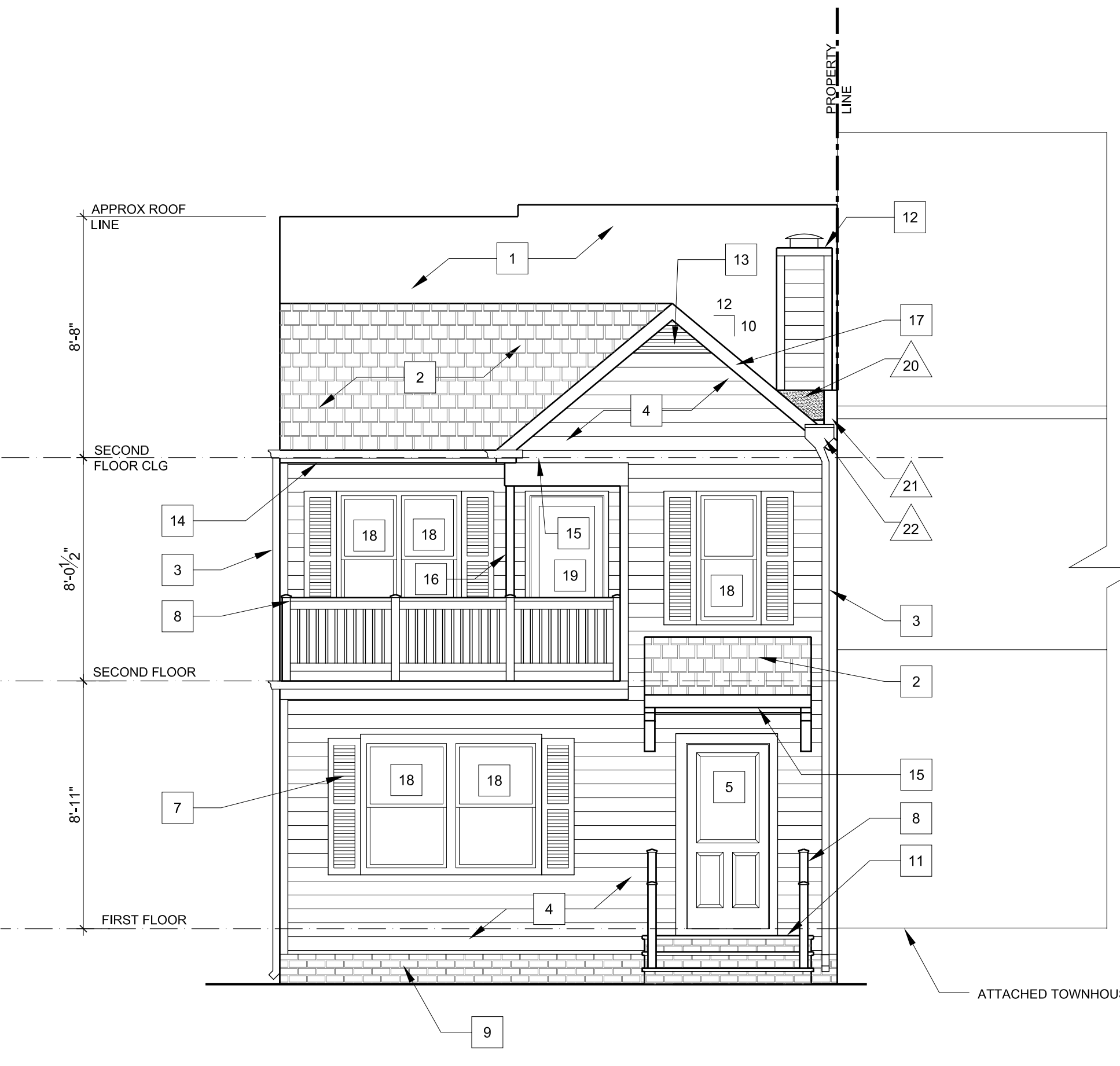
- 1 EX'G ROOF TO REMAIN
- 2 NEW ROOF PBS
- 3 GUTTERS & SPOUTS PBS
- 4 NEW HARDI PLANK SIDING PBS
- 5 NEW HALF LIGHT DOOR PBS
- 6 NEW CORNER BD AZEK 1/2"x4" TYP
- 7 NEW LOUVERED SHUTTERS
- 8 NEW RAILING SYSTEM PBS
- 9 NEW BRICK TO MATCH EX'G AS CLOSE AS POSSIBLE USING LOCAL SUPPLIERS
- 10 NEW LOAD BEARING BRACKETS - SEE DETAIL 2/ S-1.1
- 11 NEW STOOP & STEPS: BRICK STOOP SIDES & RISERS, FLAGSTONE TREADS
- 12 NEW CHIMNEY W/ SIDING
- 13 NEW DECORATIVE GABLE WALL LOUVER
- 14 VENTED SOFFIT, TYP.
- 15 CERT-A-VENT PORCH CEILING
- 16 NEW PORCH POST
- 17 NEW FASCIA TO MATCH EX'G
- 18 NEW WDW TO MATCH EX'G AS CLOSE AS POSSIBLE
- 19 NEW FULL LIGHT DOOR PBS, RAISE DOOR THRESHOLD TO WORK W/ NEW SLOPED ROOF DECK!
- 20 RUBBER ROOF MEMBRANE
- 21 2 HR FIRE RATED PARAPET WALL
- 22 SCUPPER AS NEEDED



3 REAR ELEVATION W/ DEMO
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



1 REAR ELEVATION
1/4" = 1'-0"

PHASE	DATE
EX'G CONDITIONS	6-04-08
DESIGN REVIEW	7-01-08
PRICING SET	7-22-08
PERMIT	9-26-08
PLAN REVIEW REVISIONS	12-05-08

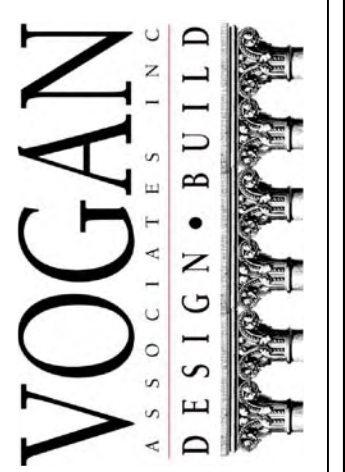
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PROJECT TITLE

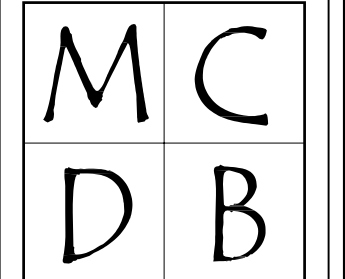
BILLIE L. SHORT
RESIDENCE
1509 GALLATIN ST. NE
NASH, DC 20017-5128
DISTRICT OF COLUMBIA

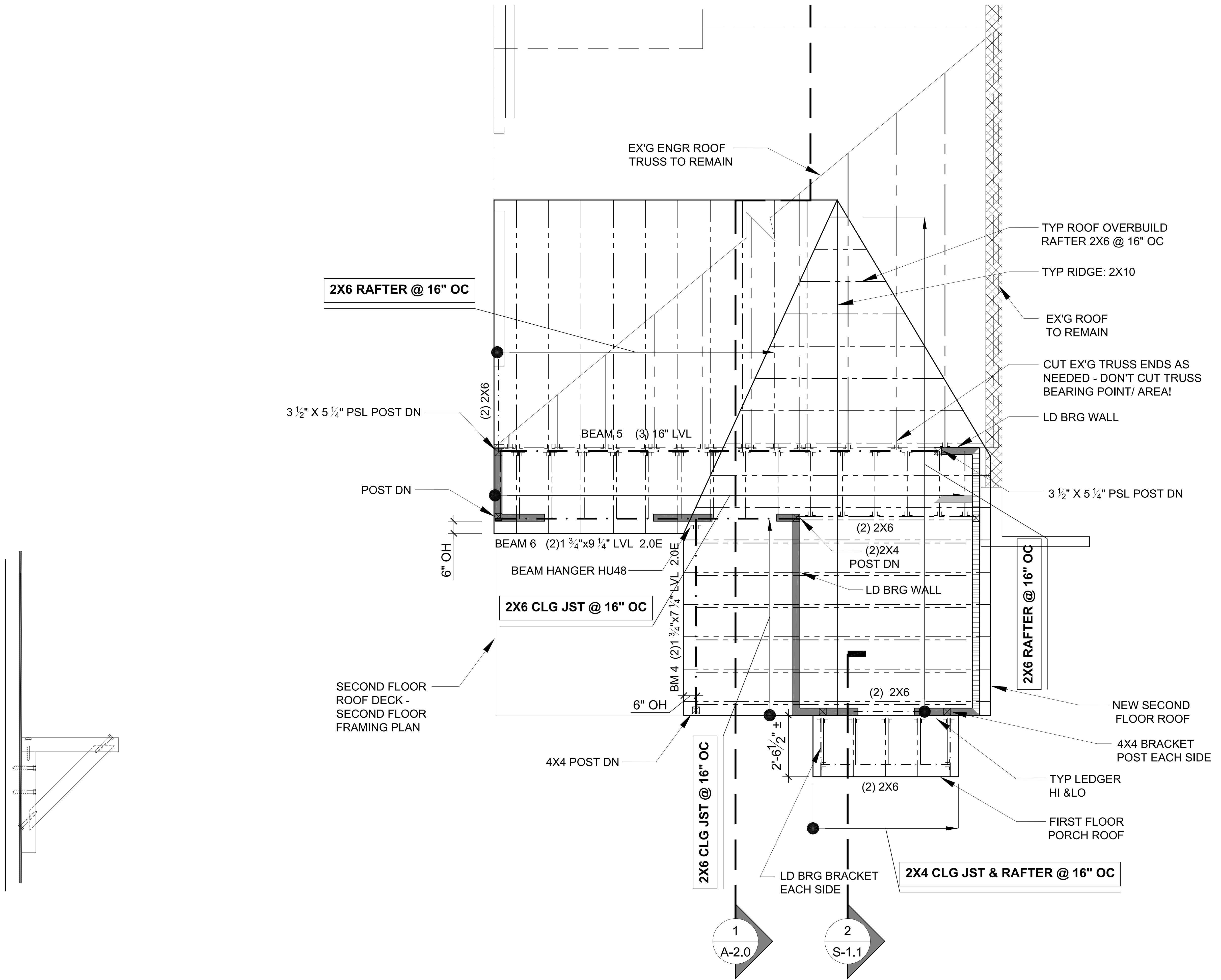
BUILDER

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MARYLAND 20906
OFFICE 301-929-2852
FAX 301-929-6226



DESIGNER





2X6 RAFTER @ 16" OC

3 1/2" X 5 1/4" PSL POST DN

POST DN

6" OH

BEAM 5 (3) 16" LVL

BEAM 6 (2) 1 3/4" X 9 1/4" LVL 2.0E

BEAM HANGER HU48

2X6 CLG JST @ 16" OC

BM 4 (2) 1 3/4" X 7 1/4" LVL 2.0E

6" OH

SECOND FLOOR ROOF DECK - SECOND FLOOR FRAMING PLAN

4X4 POST DN

2X6 CLG JST @ 16" OC

2'-6 1/2" ±

(2) 2X6

LD BRG BRACKET EACH SIDE

1
A-2.0

2
S-1.1

2X4 CLG JST & RAFTER @ 16" OC

EX'G ENGR ROOF TRUSS TO REMAIN

TYP ROOF OVERBUILD RAFTER 2X6 @ 16" OC

TYP RIDGE: 2X10

EX'G ROOF TO REMAIN

CUT EX'G TRUSS ENDS AS NEEDED - DON'T CUT TRUSS BEARING POINT/ AREA!

LD BRG WALL

3 1/2" X 5 1/4" PSL POST DN

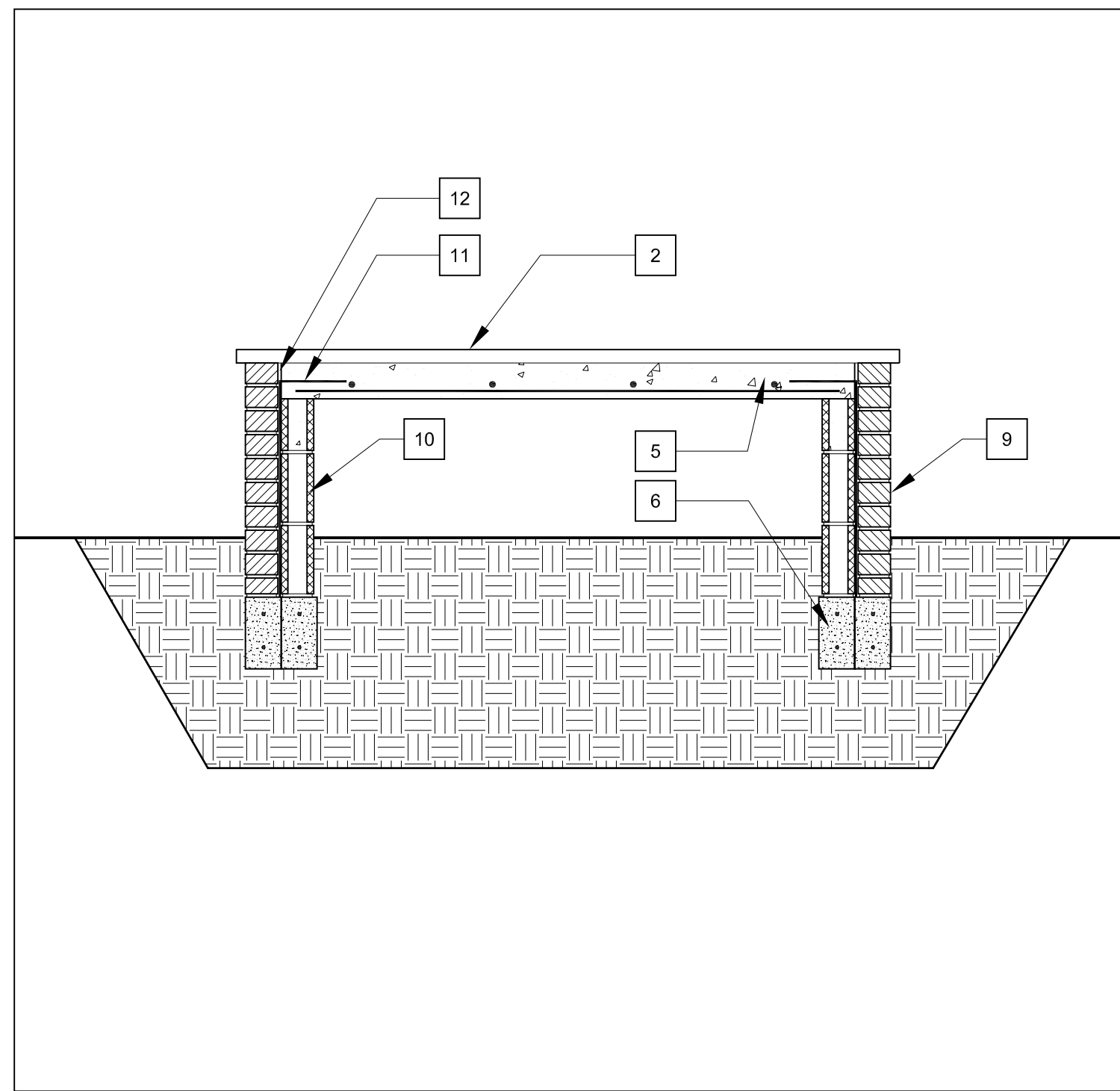
2X6 RAFTER @ 16" OC

NEW SECOND FLOOR ROOF

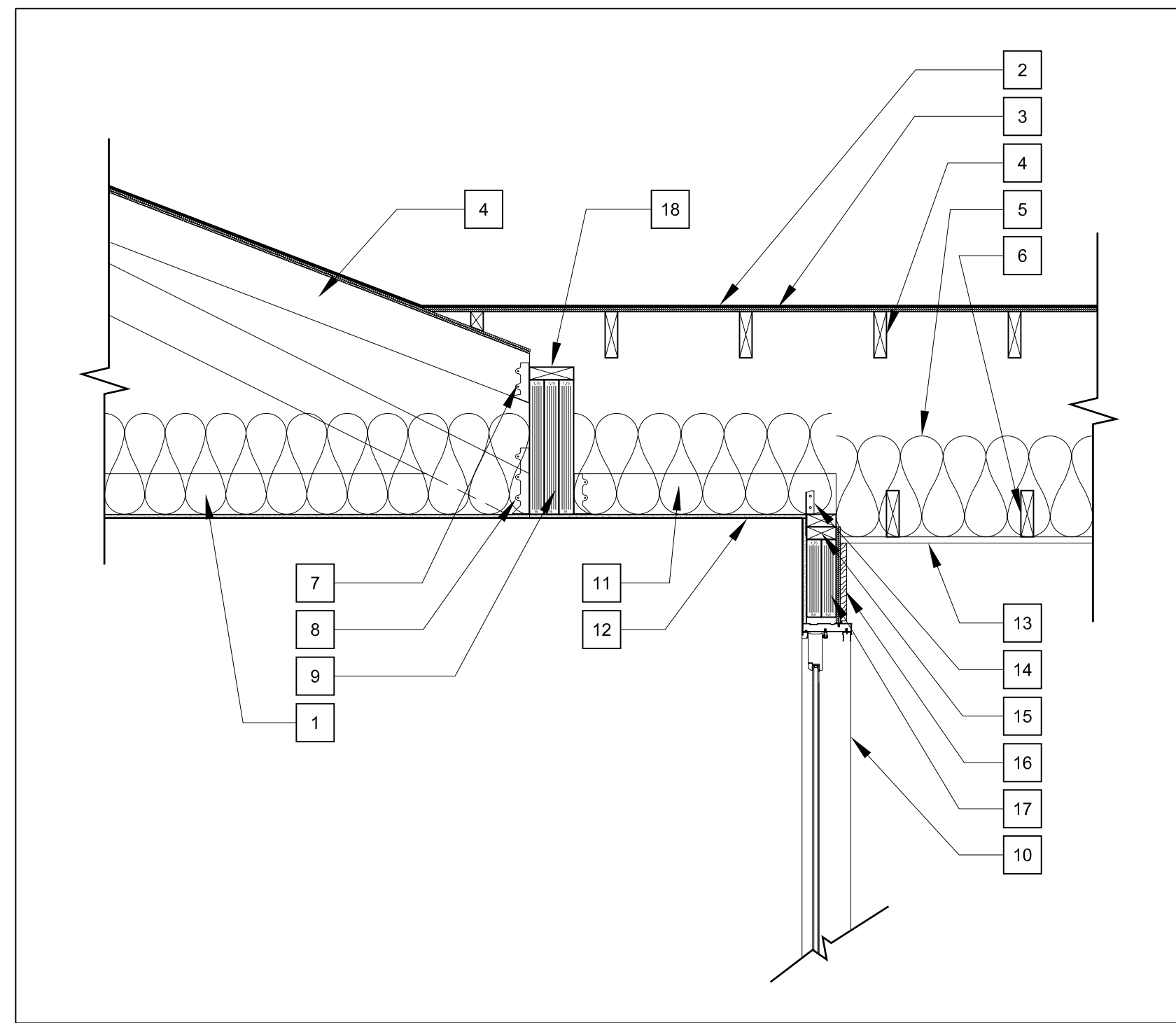
4X4 BRACKET POST EACH SIDE

TYP LEDGER HI & LO

FIRST FLOOR PORCH ROOF



2 FOUNDATION DETAIL
3/4" = 1' - 0"



3 ROOF SECTION
3/4" = 1' - 0"

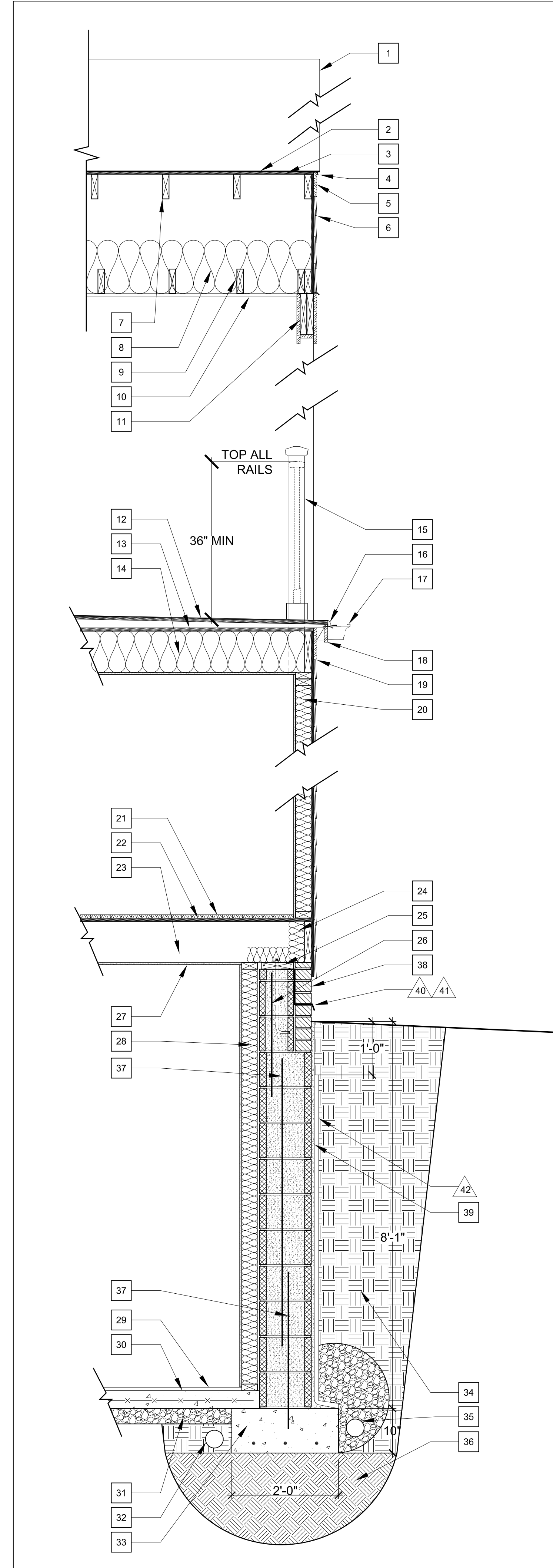
ROOF SECTION #3 NOTES:

- EXISTING TRUSS TO REMAIN, CUT TAILS ONLY AS NEEDED
- FIBERGLASS SHINGLE ON 15# BLDG FELT
- ROOF SHEATHING TYP 3/4" CDX PLYWD
- NEW 2X6 RAFTER - SEE ROOF FRAMING PLAN
- MIN R 30 FIBER GLASS INSULATION
- NEW 2X6 CLG JST - SEE ROOF FRAMING PLAN
- GALV METAL RAFTER HANGER
- GALV METAL TRUSS HANGER HTU26
- NEW FLUSH BEAM (3) 16" LVL - SEE ROOF FRAMING PLAN
- NEW EXT DOOR - VERIFY DOOR HEIGHT!
- NEW 2X6 CLG JOIST - SEE ROOF FRAMING PLAN
- TYP INTERIOR CLG AND WALL FINISH TO BE 3/4" PTD DW INSTALLED AND FINISHED PER MANUFS INSTRUCTIONS
- WHITE CERT-A-VENT PORCH CEILING
- FRAMING ANCHOR AT ALL RAFTER TO DBL TOP PLATE CONNECTIONS W/ NAILS AS REQ'D BY ANCHOR MANUF
- (2) 2 X 4 DBL TOP PLATE, NAILED W/ 16d COM NAILS @ 12" OC, 2 ROWS, TYP. ONE PLATE CAN BE REMOVED TO FIT DOOR
- 3/4" X 10 AZEK EXT DOOR TRIM OR AS NEEDED
- NEW DROP BEAM (2) 10" LVL - SEE ROOF FRAMING PLAN
- 2X6 PLATE FOR HANGER NAILING

WALL SECTION #4 NOTES:

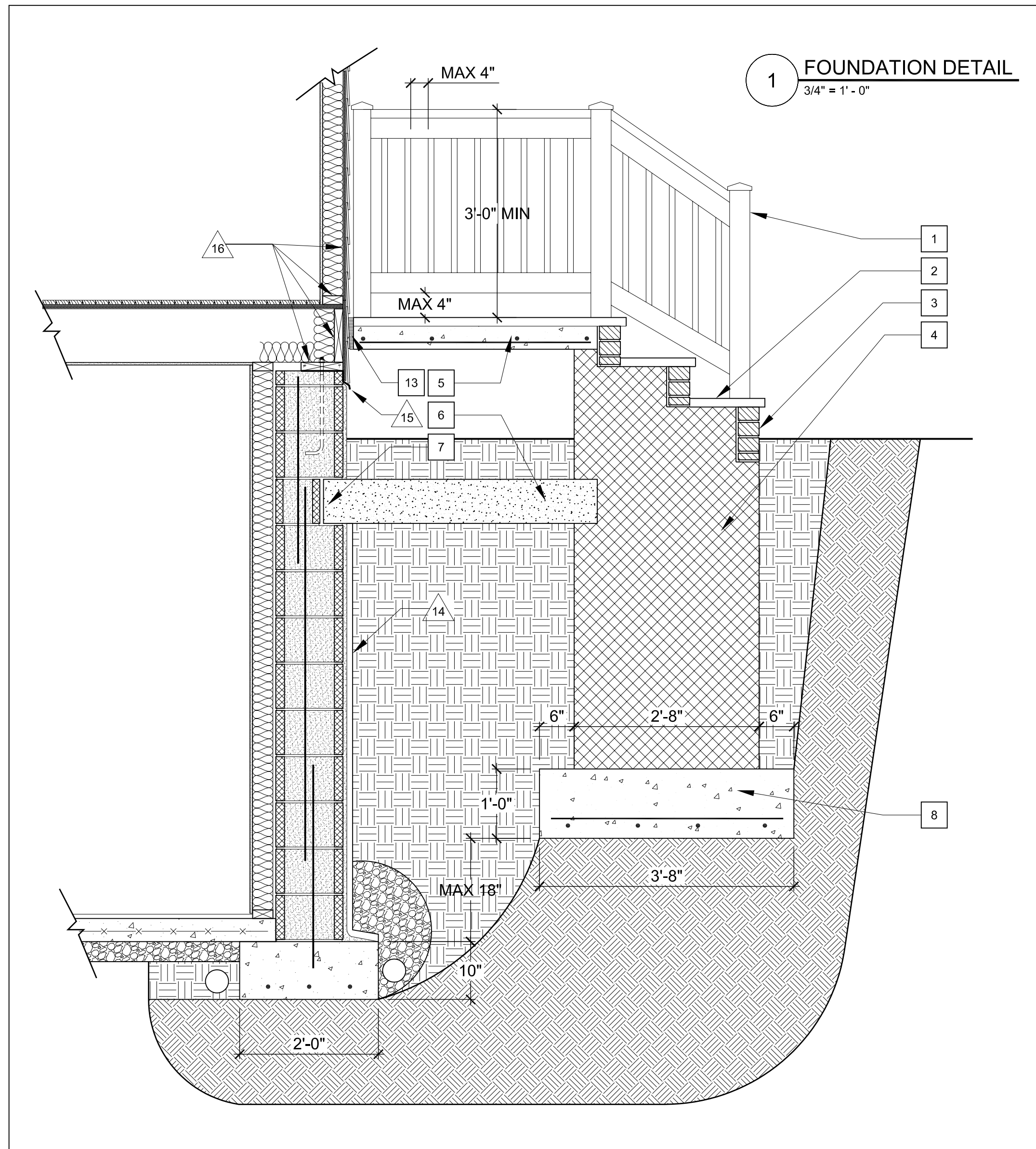
- ROOF BEYOND
- FIBERGLASS SHINGLE ON 15# BLDG FELT
- ROOF SHEATHING TYP 3/4" CDX PLYWD
- WHITE ALUM DRIP EDGE
- RAKE FASCIA 3/4" X 6
- NEW HARDI PLANK SIDING PBS
- 2X6 ROOF RAFTERS - SEE ROOF FRAMING PLAN
- MIN R 30 FIBER GLASS INSULATION BEYOND-ABOVE ALL CONDITIONED SPACES
- 2X6 CLG JOIST - SEE ROOF FRAMING PLAN
- WHITE CERT-A-VENT PORCH CEILING
- (2) 2X10 WRAPPED IN 3/4" AZEK DURADEK ROOF SYSTEM - INSTALL PER MANUFS INSTRUCTIONS
- TYPICAL ROOF SLEEPERS @ 16" OC ON 3/4" CDX PLYWD TO PROVIDE ROOF SLOPE AS REQUIRED
NOTE: SLEEPERS TO BE NOTCHED AND STAGGERED TO PROVIDE VENTED ROOF
- MIN R 30 FIBER GLASS INSULATION
- PORCH RAILING SYSTEM PBS
- DRIP EDGE DETAIL ACCORDING TO DURADEK INSTRUCTIONS AND DETAILS
- TYPICAL GUTTER: WHITE ALUM 5" K-STYLE GUTTER W/ 2" X 3" ALUM DOWNSPOUTS OR PBS
- 3/4" X 6 FASCIA ON BLOCKING
- 3/4" X 8 FRIEZE
- TYPICAL EXTERIOR WALL:
2X4 WD SPF STUD @ 16" OC W/ DBL TOP PLATES AND SINGLE SOLE PLATE W/ 1/2" OSB SHTG (EXCEPT WHERE NOTED) NAILED PER IRC 2000 W/ HOUSE WRAP OR 15# BLDG FELT W/ R 13 FIBERGLASS BATT INSULATION- W/ INTERIOR 3/4" PTD DRYWALL
- HARD WOOD FLOORING PBS
- TYPICAL WOOD SUB FLOORING:
3/4" TAG, GLUE AND NAILED PER IRC 2000
- 2X10 FLR JST - SEE FIRST FLOOR FRAMING PLAN
- R13 FIBER GLASS INSULATION PER IRC 2000
- 2 X 8 PT SILL PLATE ON SILL SEALER W/ 12 X 12" MIN ANCHOR BOLTS AT MAX 4' OC AND W/ ANCHOR AT MAX 1' FROM EACH BD JOINT & CORNERS
- GROUT CMU CELLS SOLID @ ALL ANCHOR BOLTS
- TYP INTERIOR CLG AND WALL FINISH TO BE 3/4" PTD DW INSTALLED AND FINISHED PER MANUFS INSTRUCTIONS
- INT WALL W/ 2 X 4 STUDS @ 16" O.C. W/ DBL TOP PLATE W/ 3/4" CDX OR OSB SHTG W/ R13 FIBERGL INSUL. W/ 3/4" PTD DRYWALL W/ SINGLE SOLE PLATE
- FIN FLR PBS
- 4" CONC SLAB ON GRADE W/ WWF ON 4" GRAVEL ON FIRM, DRY SOIL, FREE OF ORGANICS
- CLEAN GRAVEL ON 8 MIL POLY V.B.
- INTERIOR DRAIN PIPE SYSTEM:
4" DIA PERF BLACK PLASTIC PIPE SLOPES TO INTERIOR SUMP PIT W/ RADON MITIGATION SYSTEM IF REQUIRED
- TYP FOOTING: CONT CONC TRENCH FOOTING 24" WIDE X 10" DEEP W/ (3) #5 BARS CONT ON UNDISTURB LEVEL & STABLE SOIL FREE OF ORGANIC MATLS
- STABLE COMPACTED BACK FILL, DRY & FREE OF ORGANICS
- CONTINUOUS PERIMETER 4" Ø PERFORATED PVC FDN DRAIN SYSTEM TO SUMP/ PUMP PIT UNDISTURBED SOIL W/ MIN 2000 SAFE PS BRG. CAPABILITY UNDER ALL FOOTINGS
- FDN WALL: 12" CMU BLK FDN WALL W/ #7 BARS VERT. @ 32" OC INSTALLED PER INDUSTRY STANDARDS & GUIDELINES
- 4" FACE BRICK
- 1/2" MASONRY PARPING W/ DAMPROOFING
- CONTINUOUS FLEXIBLE WALL FLASHING UNDER FACE BRICK ABOVE FINISHED GRADE
- PROVIDE FACE BRICK WEEP HOLES @ 32" OC WITH CONTINUOUS DRAINAGE MEMBRANE ABOVE FLASHING
- TYPICAL FOUNDATION WALL DRAINAGE BOARD INSTALLED CONTINUOUSLY FROM TOP OF FOOTING TO WITHIN 12" OF THE FINISH GRADE, INSTALL DRAINAGE BOARD PER MANUFS. INSTRUCTIONS

4 WALL SECTION
3/4" = 1' - 0"

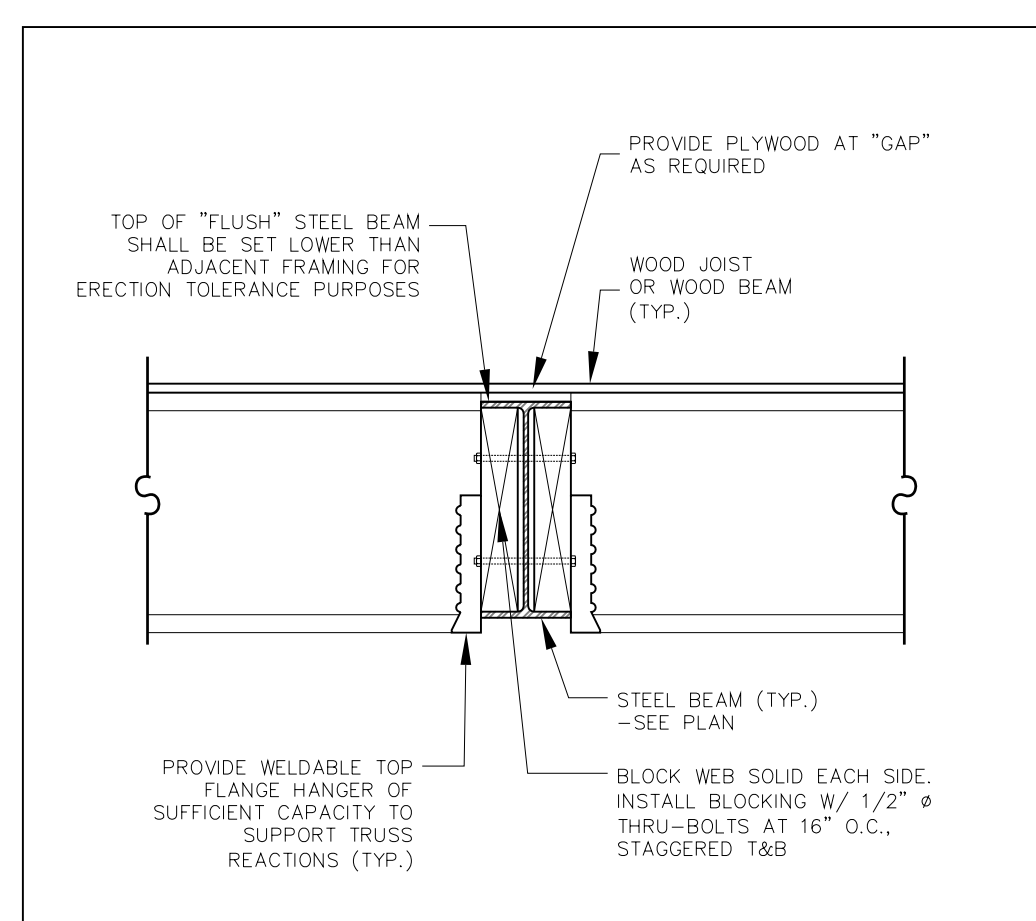


PORCH FOUNDATION DETAIL #1 & #2 NOTES:

- PORCH RAILING PBS
- 1 1/2" FLAGSTONE TREAD SLOPED TO DRAIN WATER
- BRICK RISER
- CMU STAIR FDN - SEE FOUNDATION PLAN
- 4" CONC SLAB W/ #4 @ 12" OC EACH WAY SLOPED TO DRAIN WATER
- (2) 8" CMU LINTEL EACH SIDE
- LINTEL POCKET IN CMU BSMT FDN WALL
- 44" X 84" X 12" THICK CONC PIER FTG W/ 6" PROJECTION TYP. W/ #4 @ 12" OC E.W. BOTT.
- 4" FACE BRICK
- 4" CMU BLOCK
- #3 DOWELS @ 24" OC, TYP. (INTO SLAB AND COLLAR JOINT)
- 100% SOLID GROUTED COLLAR JOINT, TYP.
- EXP. JOINT MATERIAL
- FOUNDATION WALL DRAINAGE BOARD INSTALLED CONTINUOUSLY FROM TOP OF FOOTING TO WITHIN 12" OF THE FINISH GRADE, INSTALL DRAINAGE BOARD PER MANUFS. INSTRUCTIONS
- CONTINUOUS FLEXIBLE WALL FLASHING UNDER FACE BRICK ABOVE FINISHED GRADE
- PROVIDE PRESSURE TREATED LUMBER AT ALL CONCRETE CONTACT AREAS OR PROVIDE SEPARATION MEMBRANE



1 FOUNDATION DETAIL
3/4" = 1' - 0"



5 TYP JOIST TO FLUSH STEEL BEAM
NTS

SHEET SCALE
X=1'-0"
OR AS NOTED

REVISIONS	DATE	PHASE
6-04-08	6-04-08	EXG CONDITIONS
7-01-08	7-01-08	DESIGN REVIEW
7-22-08	7-22-08	PRICING SET
9-26-08	9-26-08	PERMIT
12-05-08	12-05-08	PLAN REVIEW REVISIONS

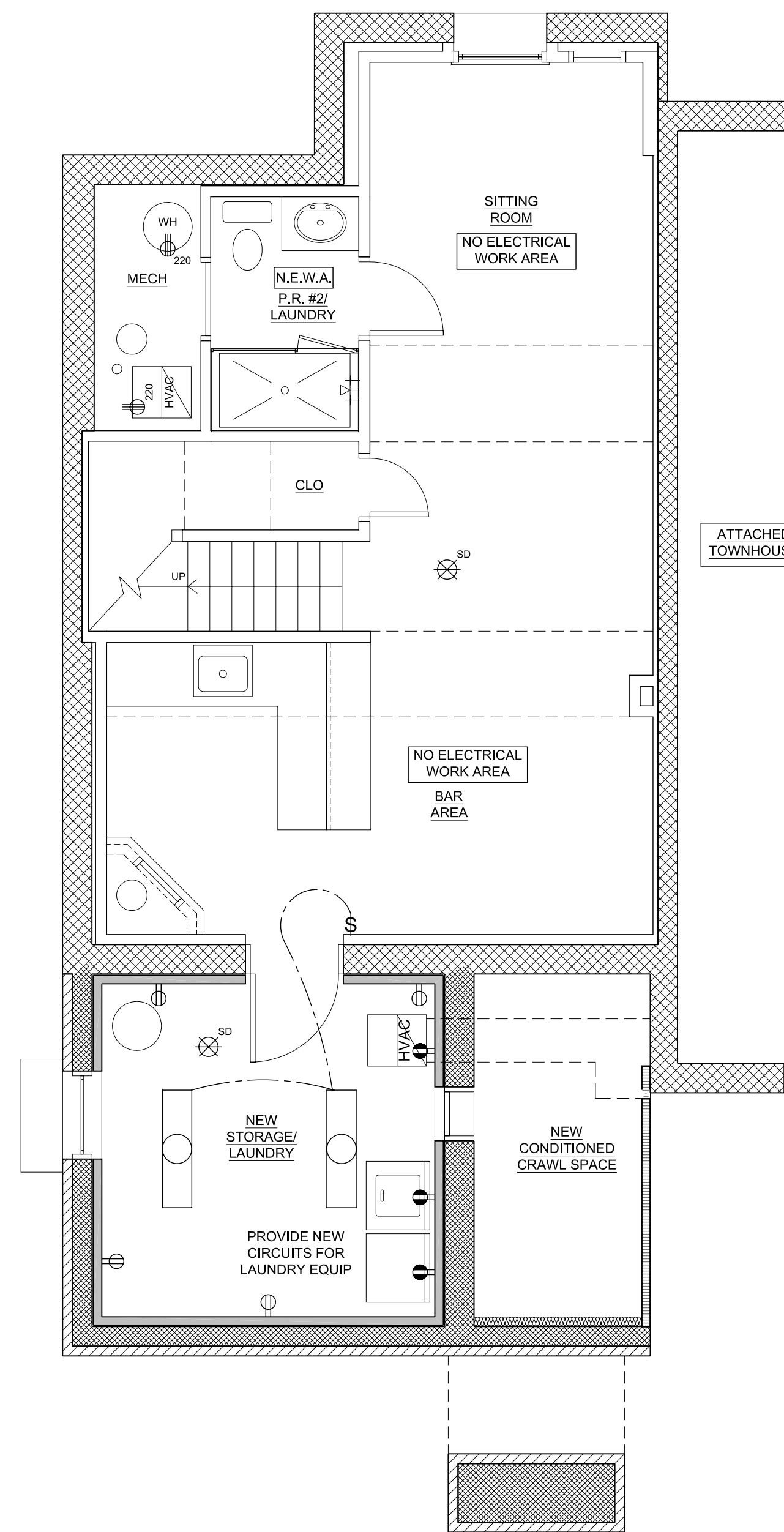
ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE TO BE CONSIDERED AS PART OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.

PROJECT TITLE
BILLIE L. SHORT RESIDENCE
1809 GALLATIN ST. NE
WASH, DC 20017-5128
DISTRICT OF COLUMBIA

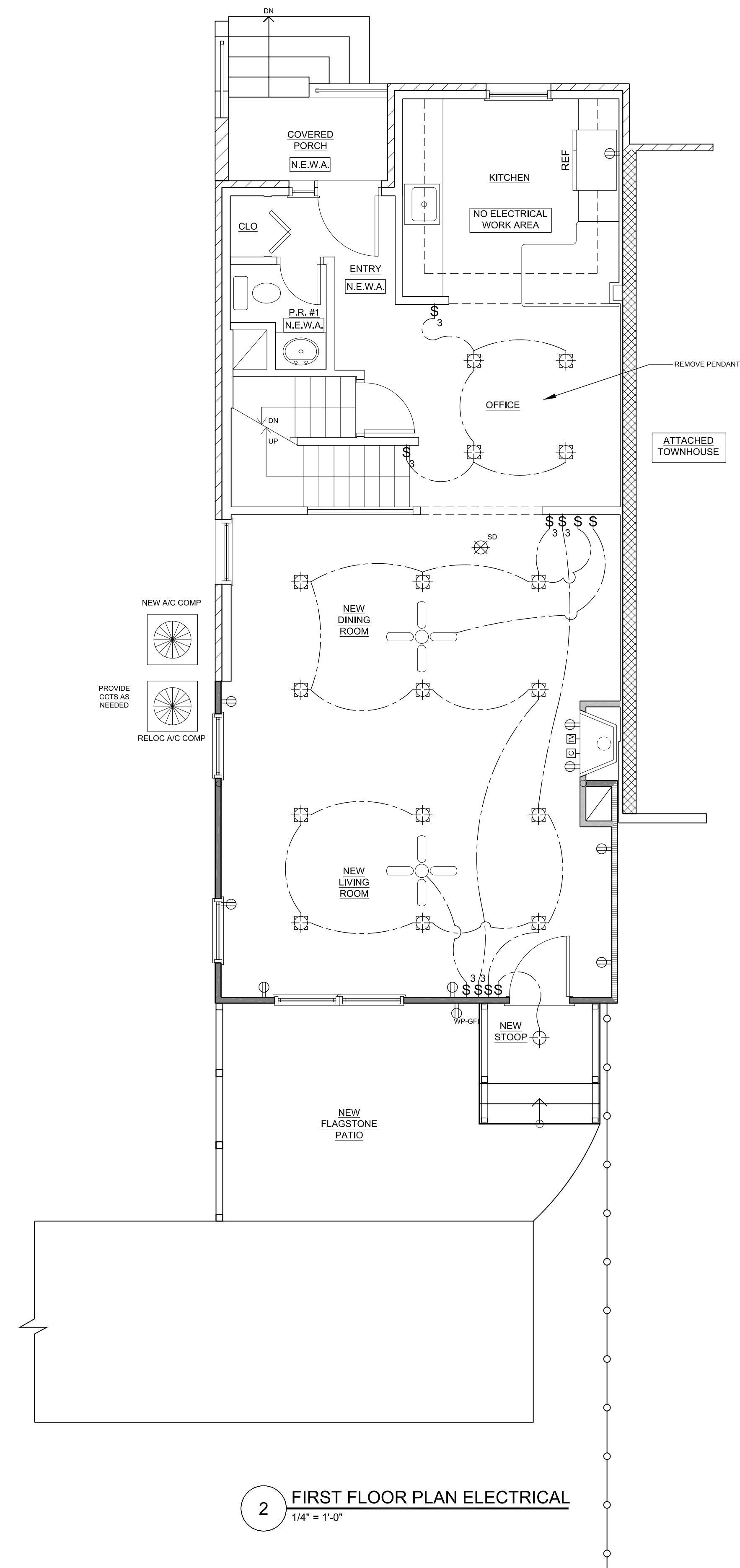
BUILDER
13004 WILTON OAK DRIVE
SILVER SPRING, MD 20906
MARKLAND BUILDING
OFFICE 301-929-2852
FAX 301-929-6226

VOGAN
ARCHITECTS, INC.
DESIGN • BUILD

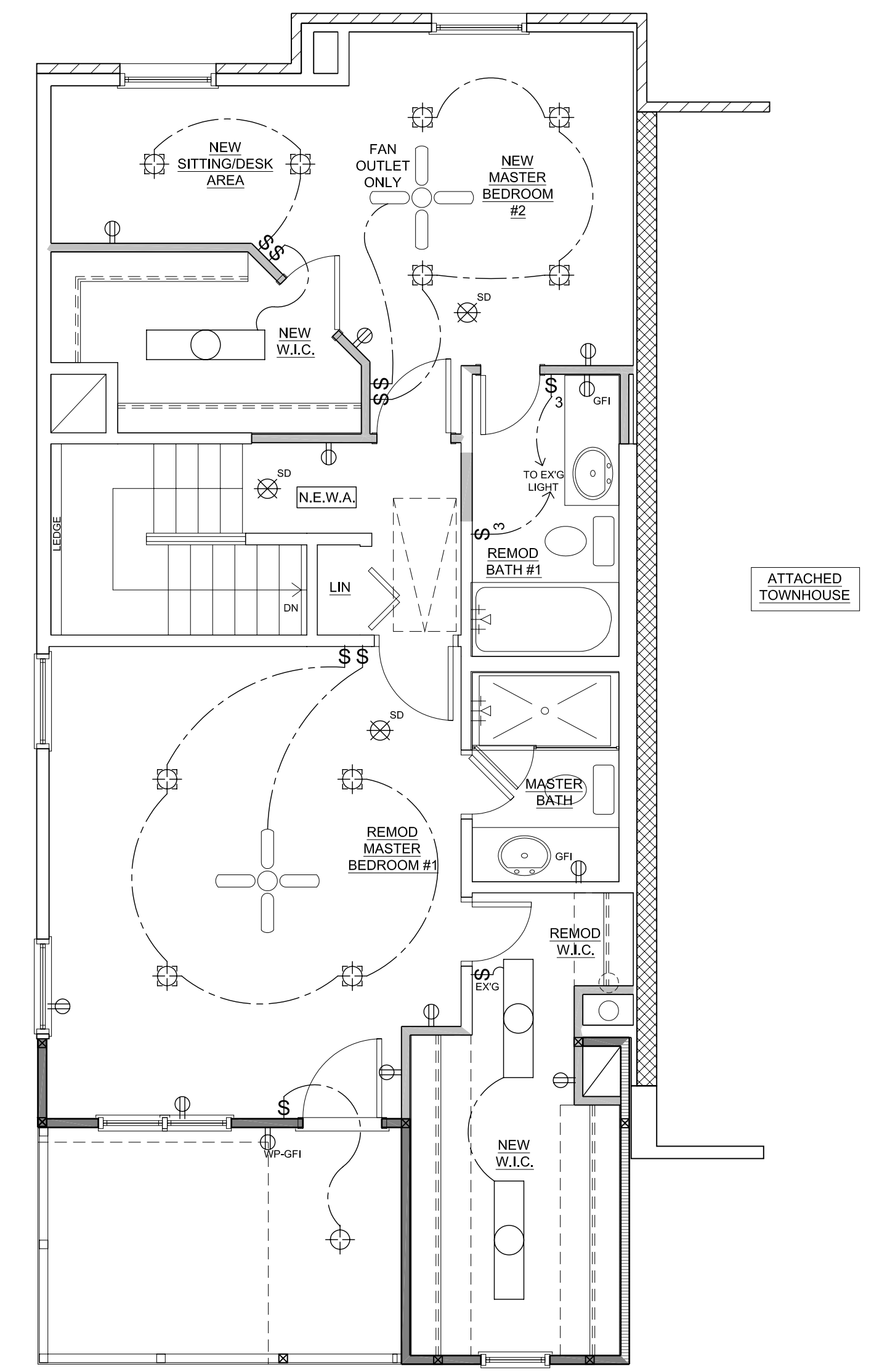
DESIGNER
MCDB



1 BASEMENT FLOOR PLAN ELECTRICAL
1/4" = 1'-0"



2 FIRST FLOOR PLAN ELECTRICAL
1/4" = 1'-0"



3 SECOND FLOOR PLAN ELECTRICAL
1/4" = 1'-0"

ELECTRICAL LEGEND					
\$	SWITCH	⊗ SD	SMOKE DETECTOR	⊕	FLOODLIGHT
\$₃	THREE-WAY SWITCH	—	CABLE	⊞	VENT
\$₄	FOUR-WAY SWITCH	⊞	PHONE OUTLET	⊞	VENT AND LIGHT
⊞	DUPLEX	⊞	TV OUTLET	⊞	UNDER CAB. LIGHT
⊞ _{GFI}	GFI DUPLEX	⊞	CEILING LIGHT	⊞	FLOURESCENT LIGHT
⊞ _{CT}	COUNTERTOP DUPLEX	⊞	RECESSED CEILING LIGHT	⊞	FAN
⊞ _{VP}	VAPOUR PROOF LIGHT	⊞	WALL HUNG LIGHT	⊞	DEDICATED RECEPT AS NEEDED

SHEET NUMBER
M-1-1.0
11 OF 18 TOTAL

SHEET TITLE
ELECTRICAL FLOOR PLANS

SHEET SCALE
X=1'-0"
OR AS NOTED

PHASE	DATE
EXG CONDITIONS	6-04-08
DESIGN REVIEW	7-01-08
PRICING SET	7-22-08
PERMIT	9-26-08
PLAN REVIEW REVISIONS	12-05-08

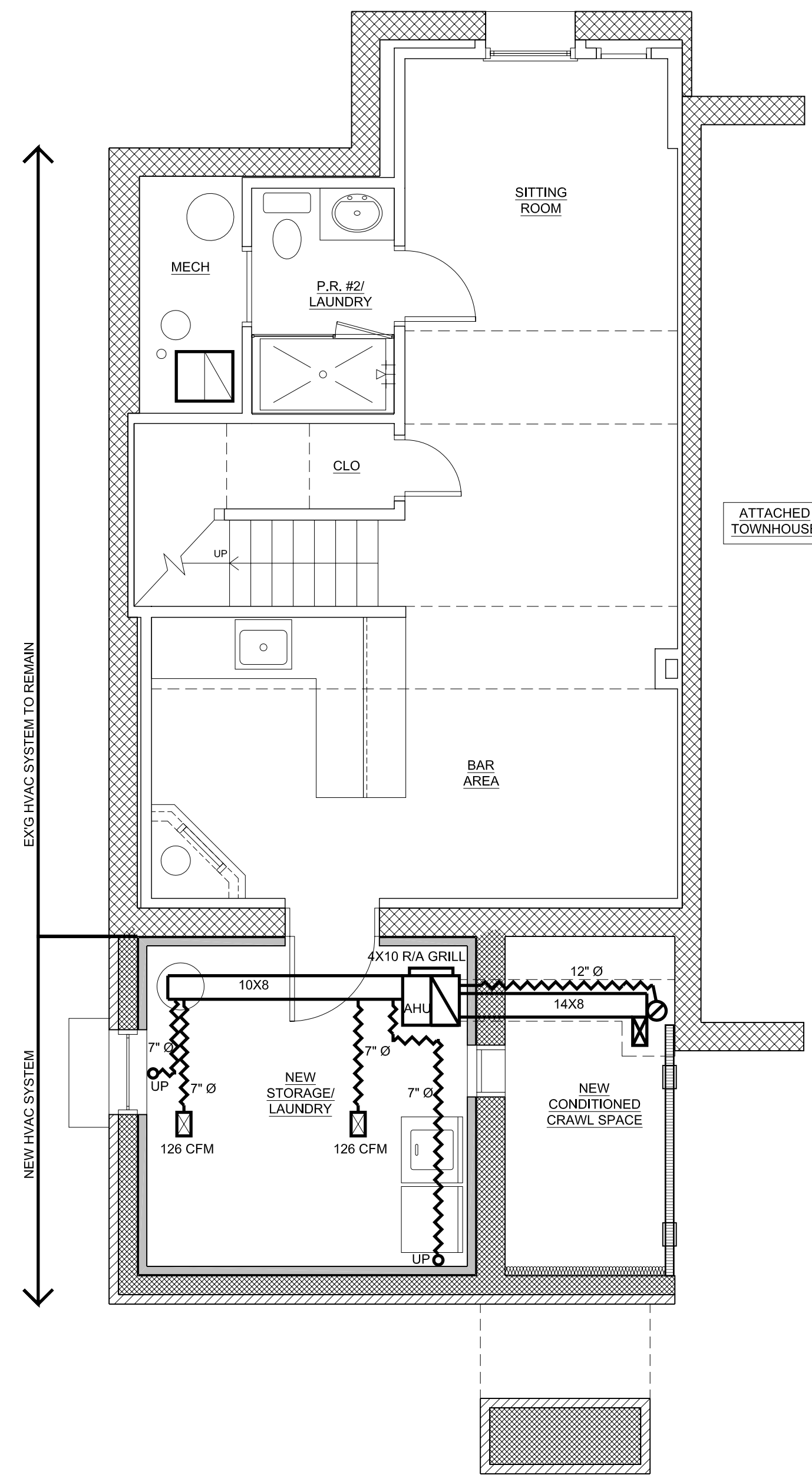
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1509 GALLATIN ST. NE
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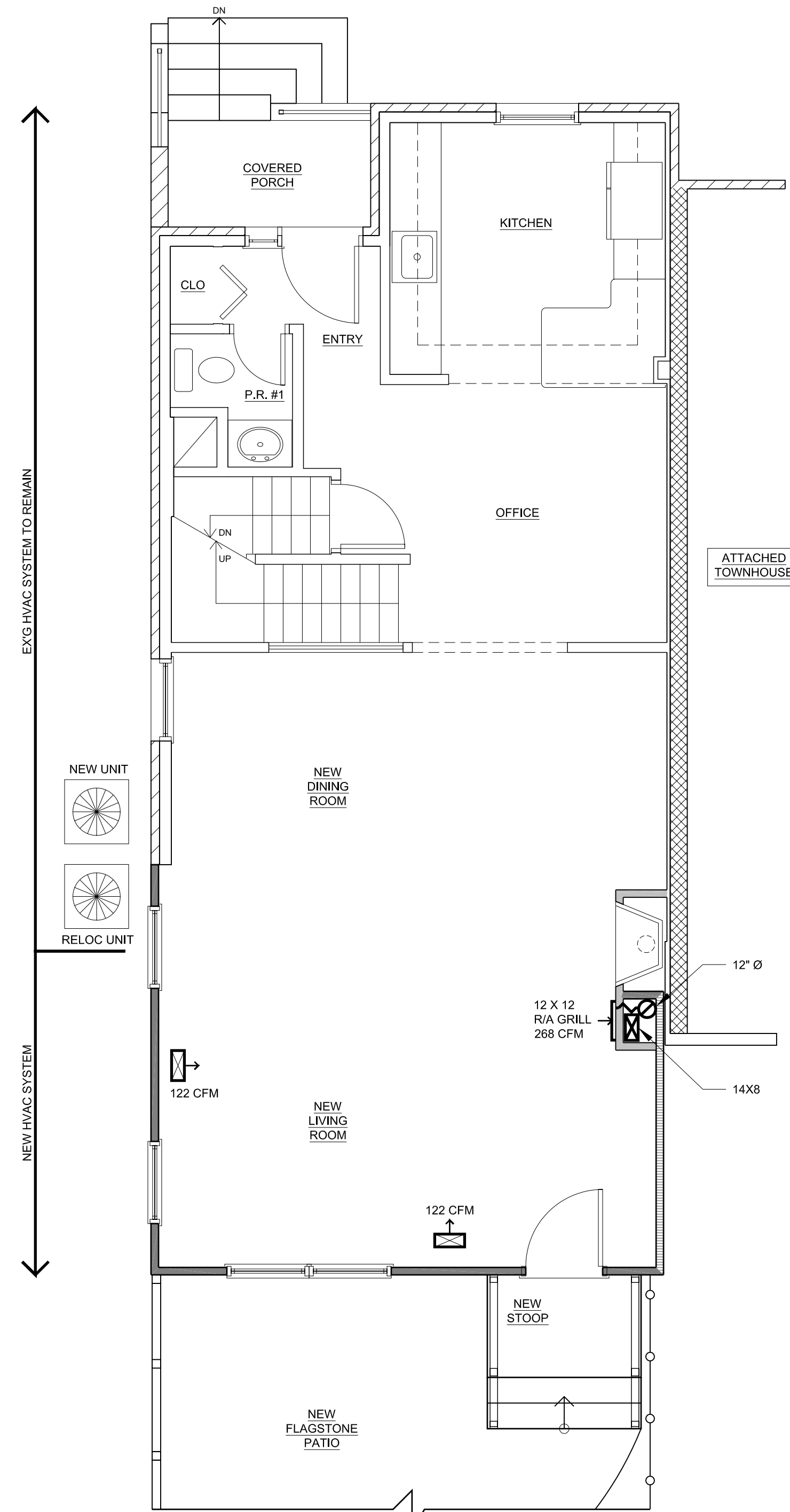
BUILDER
**13004 WILTON OAK DRIVE
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MARYLAND 20906
OFFICE 301-929-2852
FAX 301-929-6220**

DESIGNER
**VOGAN ASSOCIATES, INC.
DESIGN • BUILD**

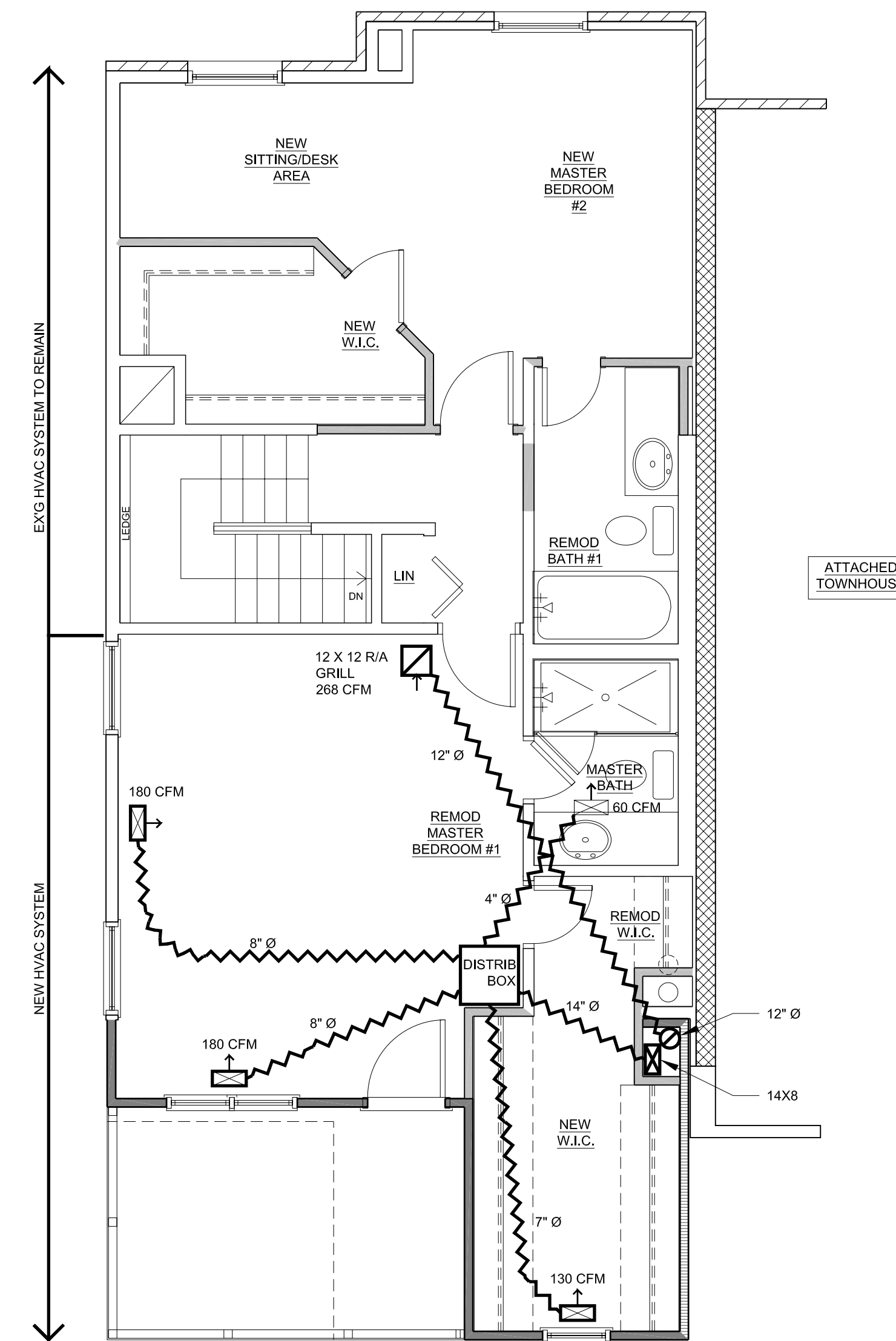
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1 BASEMENT HVAC PLAN
1/4" = 1'-0"



2 FIRST FLOOR HVAC PLAN
1/4" = 1'-0"



3 SECOND FLOOR HVAC PLAN
1/4" = 1'-0"

HVAC INFORMATION	
SUBCONTRACTOR'S NAME:	McCrea Equipment Company
WASHINGTON DC LIC. #	_____
EQUIPMENT LIST (IF NEW):	
BRAND	_____
_____	FURNACE
_____	A/C UNIT
_____	COOLING COIL
_____	THERMOSTAT

DATE	PHASE	REVISIONS
6-04-08	EXG CONDITIONS	
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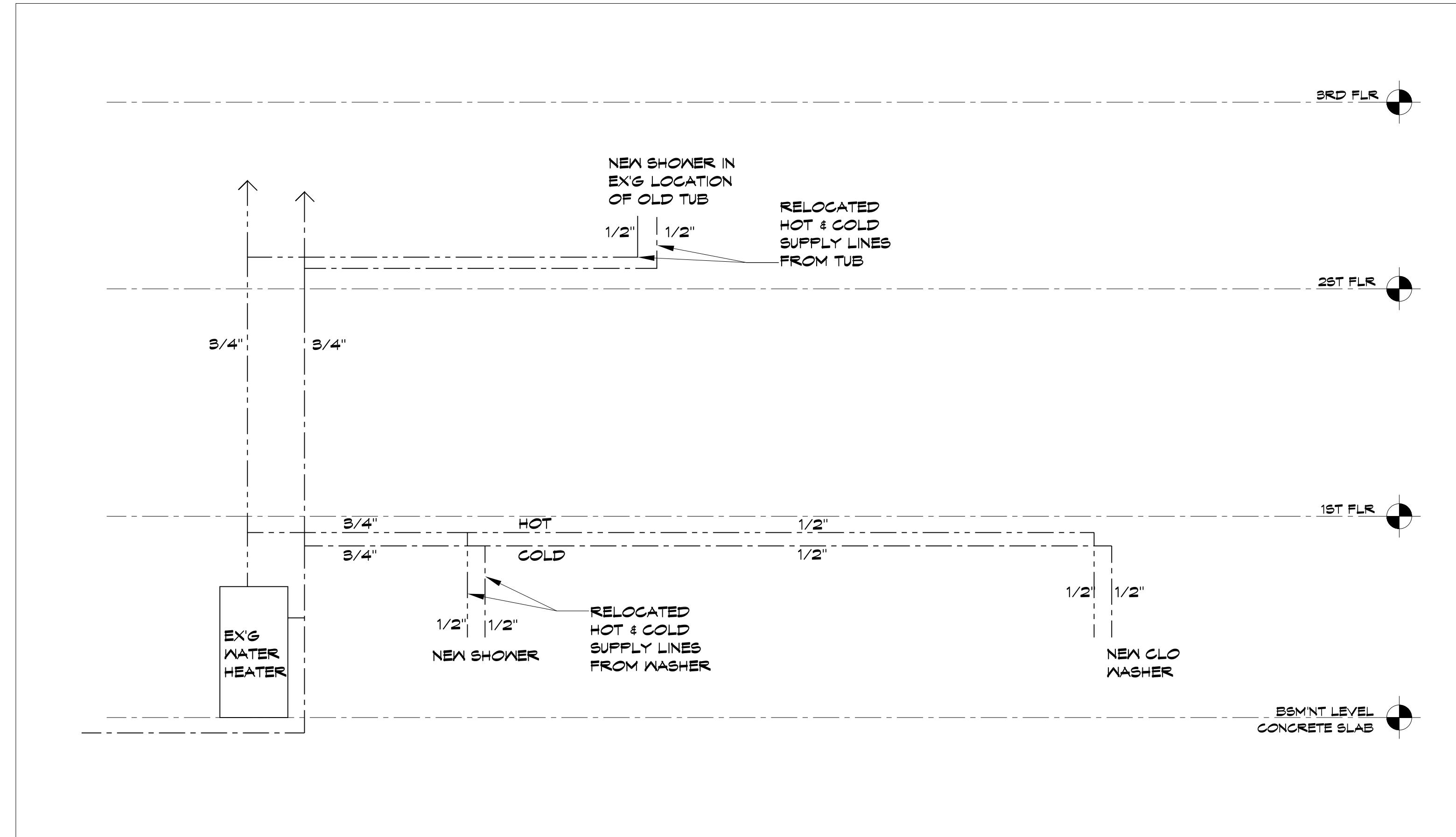
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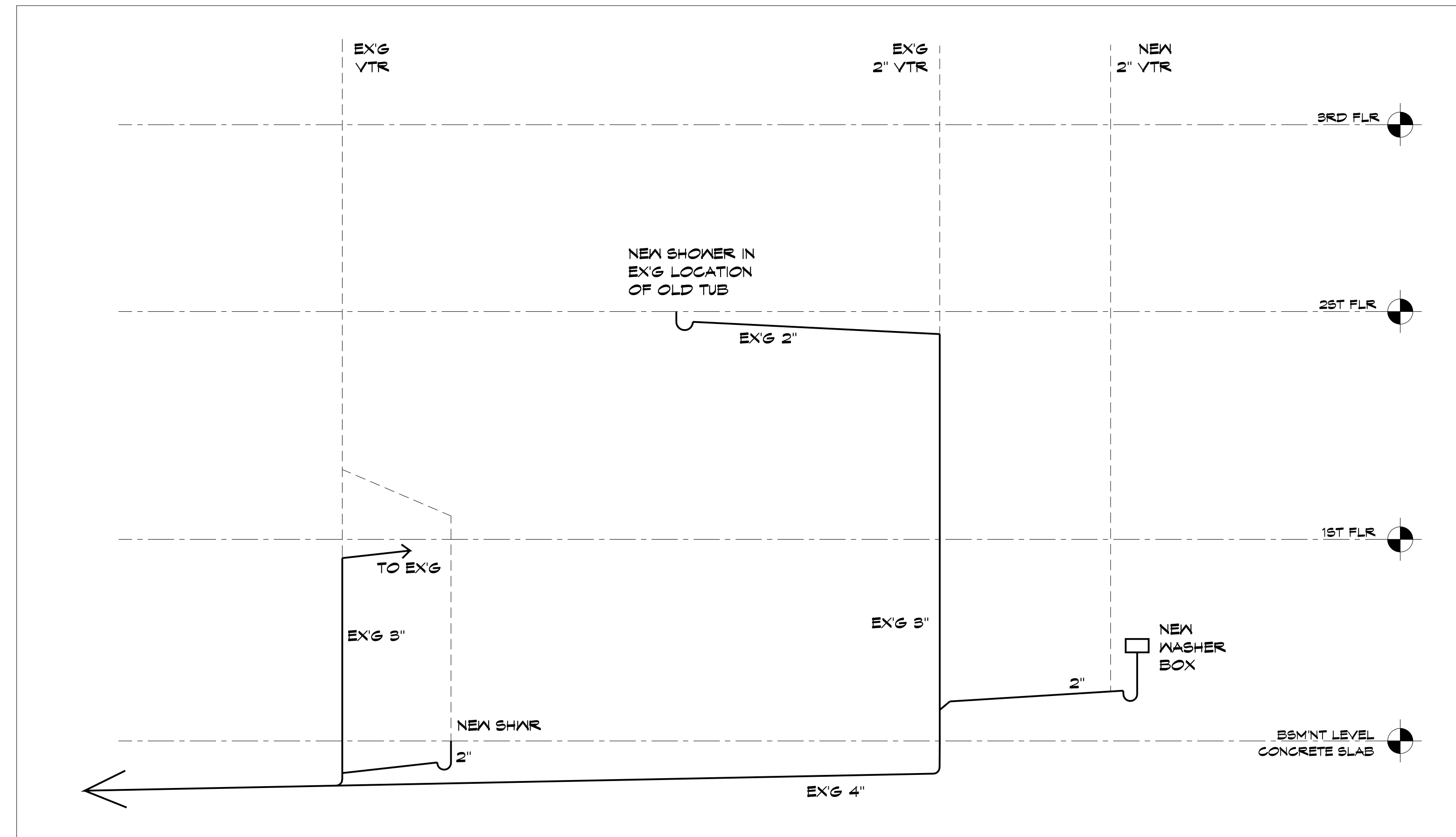
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OFFICE 301-929-2852
FAX 301-929-6226

VOGAN ASSOCIATES, INC.
DESIGN • BUILD

DESIGNER
M C
D B



1 PARTIAL (NEW WORK ONLY) WATER RISER DIAGRAM
NTS



2 PARTIAL (NEW WORK ONLY) SANITARY SEWER RISER DIAGRAM
NTS

SHEET NUMBER
M-1.1
13 OF 13 TOTAL

SHEET TITLE
PLUMBING RISER DIAGRAMS

SHEET SCALE
X=1'-0"
OR AS NOTED

PHASE	DATE
EX'G CONDITIONS	6-04-08
DESIGN REVIEW	7-01-08
PRICING SET	7-22-08
PERMIT	9-26-08
PLAN REVIEW REVISIONS	12-05-08

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DESIGNER

M C
D B