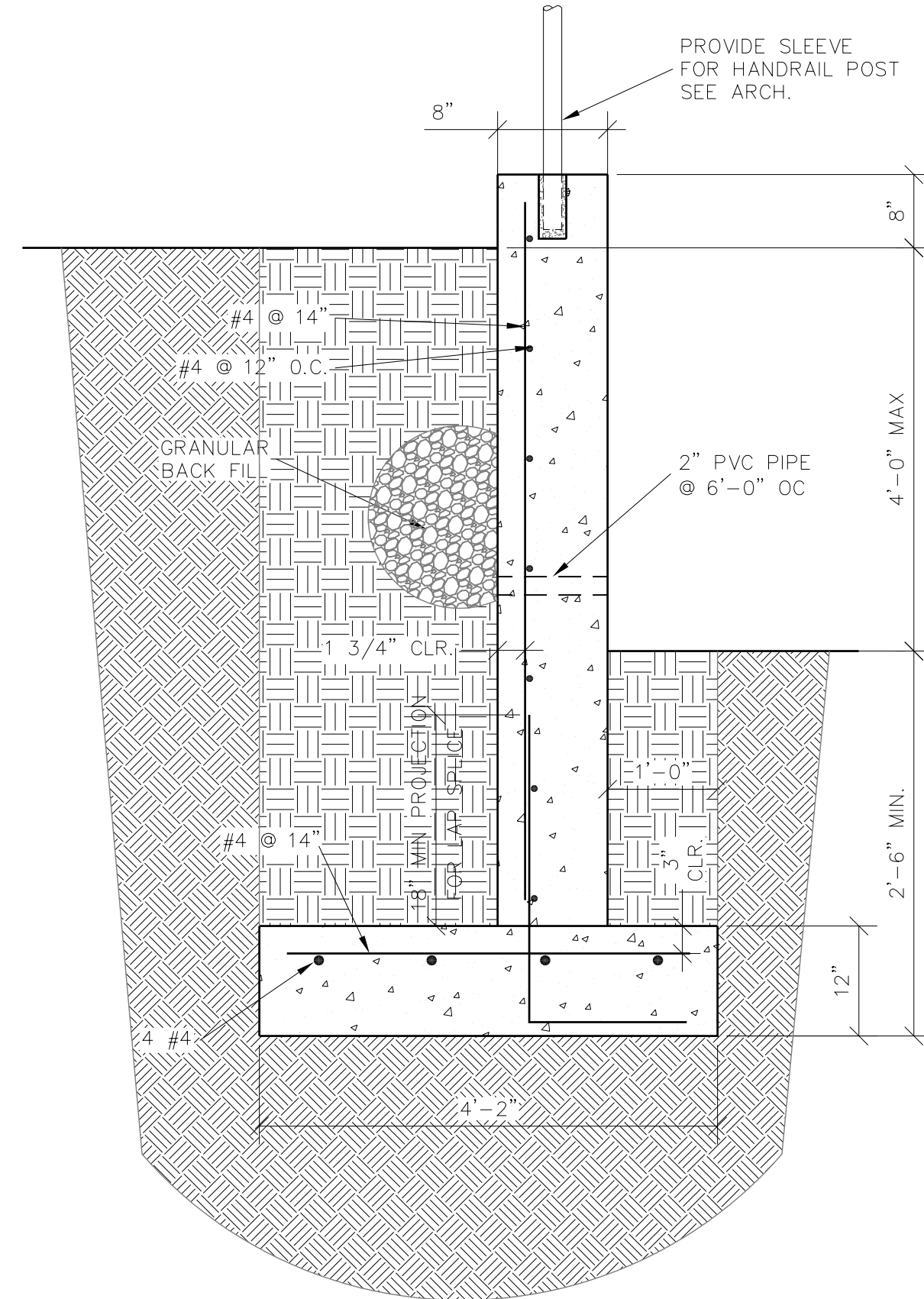
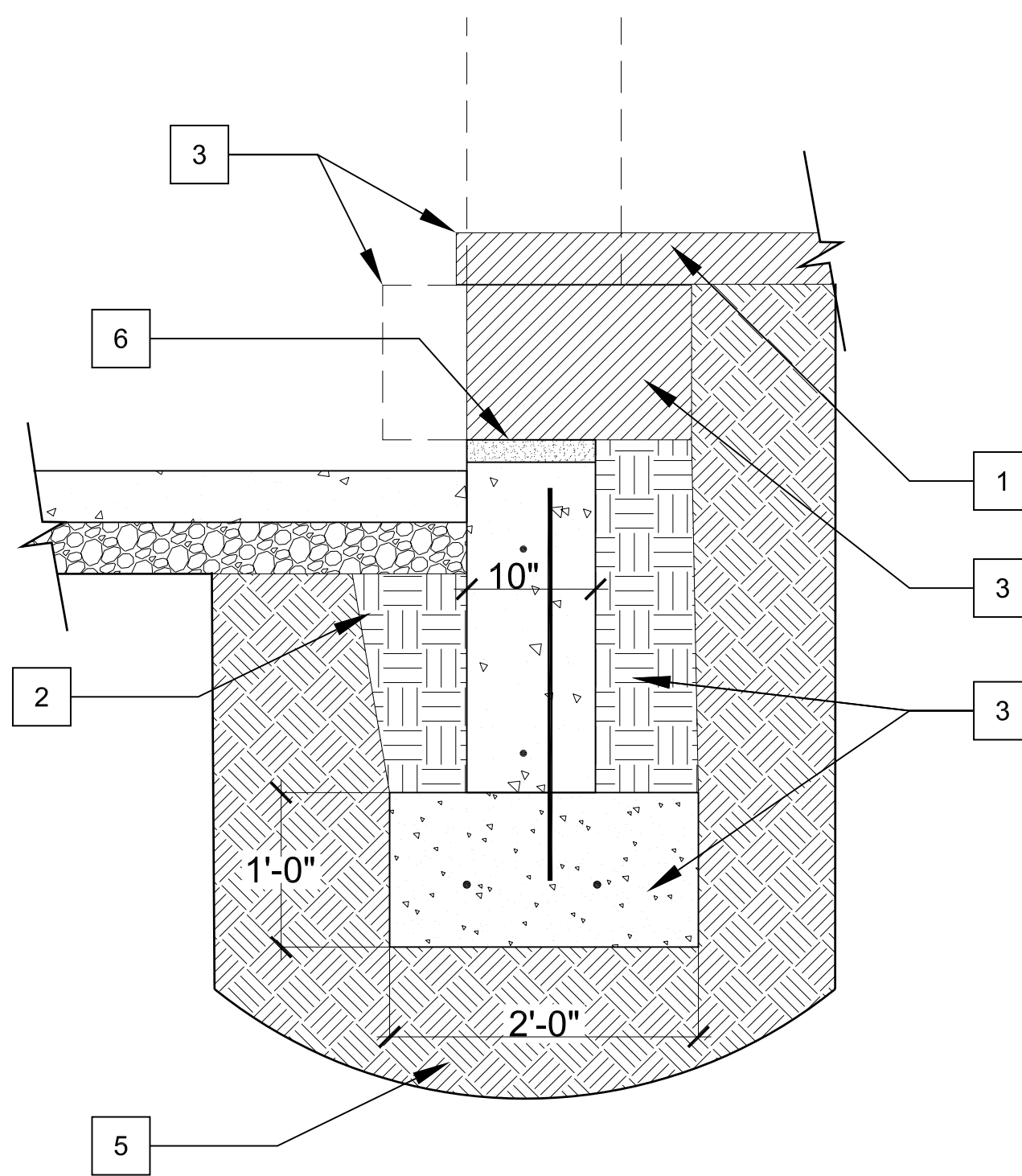


**Wainright Engineering & Consulting**  
**Rose-Kohn Residence. Structural Notes**

- All work shall conform to the DCMR and chapters 4 through 8 of the 2003 IRC.
- Design loads: live load = 40 psf; ground snow load = 30 psf; dead load = 9 psf or higher as appropriate; wind loads 90 mp (3 sec. gusts).
- Minimum required safe soil bearing capacity  $q_b = 2000$  psf. Bottom of footings shall be placed on dry, undisturbed soil, free of organics, a minimum of 2 ft. 6 ins. below final grade.
- Concrete shall obtain a 28 day compressive strength,  $f_c = 3000$  psi. Reinforcing steel shall be deformed ASTM A615 grade 60. Maintain minimum concrete cover of 3 in. Place in accordance with ACI 318-90.
- Masonry units shall conform to ASTM C 90 and be placed in accordance with ACI 530/ASCE 5-90.
- Lumber shall be Doug Fir No. 2,  $F_b = 1,000$  psi,  $F_v = 70$  psi,  $E = 1.2 \times 10^6$  psi or equal. Studs shall be No.2 or Stud Grade. Wood exposed to moisture, concrete or the exterior shall be pressure preservative treated with material suitable for interior use.
- Wood structural panels shall conform to Doc PS 1 or 2.
- Laminated veneer lumber (LVL) shall have  $F_b = 2600$  psi,  $F_v = 285$  psi and  $E = 1.9 \times 10^6$  psi. Sister with two rows of staggered 12d nails spaced at 12 in.
- Parallel strand lumber (PSL) shall have  $F_b = 2900$  psi,  $F_v = 290$  psi, and  $E = 2 \times 10^6$  psi.
- All structural connections are to be selected and installed to support the full load capacity of the member UNO, and are to be installed in accordance with the Manufacturer's specifications. The fasteners and connectors specified on the drawings refer to Simpson Strong-Tie or equivalent.
- Roof trusses, including the connections to their supports for all design loads, are to be designed and sealed by a Professional Engineer registered in the District of Columbia.
- Wind bracing: Exterior sheathing shall be minimum 3/8 in. wood structural panels nailed with 8d @ 6 ins., U.N.O.
- The Builder is responsible for all temporary shoring and all job site safety and shall confirm all dimensions and conditions. If they differ significantly from those shown on drawing, contact Wainright Engineering at (202) 262-4972.
- The Owner should be notified that some differential settlement (up to 1/2 in.) and cracking may occur as the new and existing structures adapt to changed load paths.



**2 CONCRETE RETAINING WALL DETAIL**  
 1" = 1'-0"



**1 FOUNDATION UNDERPINNING DETAIL**  
 1" = 1'-0"

**EXISTING FOUNDATION UNDERPINNING**

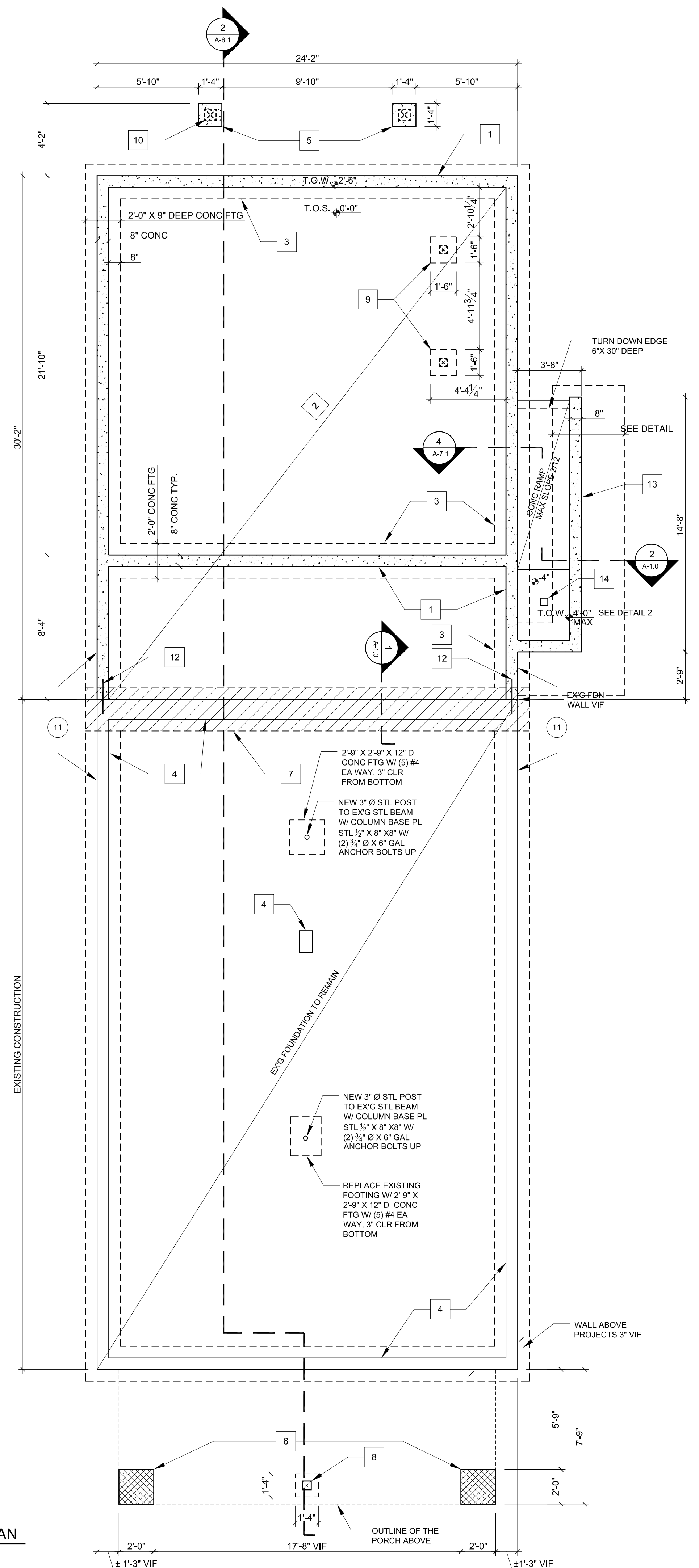
- EXISTING CONSTRUCTION TO BE MAINTAINED, STABILIZE & UNDAMAGE DURING UNDERPIN CONST
- BACKFILL & COMPACT SOILS TO SUPPORT SLAB ON GRADE ABOVE
- EXISTING CONCRETE FOOTING TO REMAIN, CUT-OFF PROTRUDING SECTION
- NEW CONC UNDERPIN SYSTEM:
  - EXCAVATE AND PLACE NEW UNDERPIN FOOTINGS IN 4'-0" ALTERNATING SECTIONS. PLACE ALTERNATIVE SECTIONS MIN 7 DAYS AFTER THE FIRST SECTIONS ARE PLACED
  - UNDERPIN FTG SIDES TO ALIGN WITH EXISTING FTG SIDES ABOVE
  - DEPTH OF UNDERPIN CONC TO BE MIN 12"
  - (4) #4 REBARS LAP 1'-0" ON EA SIDE OF EA SECTION
- UNDISTURBED SOIL W/MIN 2000 SAFE PSF BRG. CAPABILITY UNDER ALL UNDERPIN CONCRETE
- DRYPACK OR INFILL W/ 2" NON-SHRINK GROUT

**FOUNDATION NOTES:**

SEE STRUCTURAL NOTES

- NEW REINF CONC WALL - SEE 1/A-7.0
- 4" CONC SLAB ON GRADE W/ WWF 6 X 6 X W1.4 X W1.4 @ MID HGT. W/ 6 MIL POLY V.B. ON 4" GRAVEL ON FIRM, DRY SOIL, FREE OF ORGANICS W/ PERIM. INSULATION AS REQUIRED
- CONTINUOUS CONC. 24"W X 9"D FOOTING WITH CONT. (2) #4 EXISTING WALLS & FOOTINGS TO REMAIN
- 16"X16"X 9" MIN 30" DEEP CONC. PIER FOOTING W/ 8X8 POST ABOVE
- NEW 24"X24" CMU FDN PORCH PIER W/ 24" X 24" X 10"D CONC. FTG W/ (2) #4 VERT IN GROUT FILLED CELL. SEE 1/A-7.1
- EXG FDN WALL TO BE UNDERPINNED PER 1/A-1.0
- PT 6X6 POST W/ 16" X 16" X 8"D FTG. ABA 66 FOR PT POST UP & 1/2" X GALV 12" ANCHOR BOLT
- THICKENED CONC. SLAB UNDER POST TO MIN 14"
- ABU88 W/ 1/2" X 12" GALV ANCHOR BOLT (TYP. BOTH SIDES FOR PT POST UP)
- CRITICAL ALIGNMENT:** NEW FOUNDATION WALL TO BE FLUSH W/ EXG FDN WALL
- #4 WALL DOWELS 16" OC VERT. W/ MIN EMBED OF 6"
- CONC. RETAINING WALL, MAX HGT 4'-0". SEE 2/A-1.0
- PROVIDE CONSTRUCTION JOINT AT ALL CHANGES IN BASE & TOP ELEVATIONS
- DRAIN TO SUMP PIT OR DAYLIGHT

**3 FOUNDATION PLAN**  
 1/4" = 1'-0"



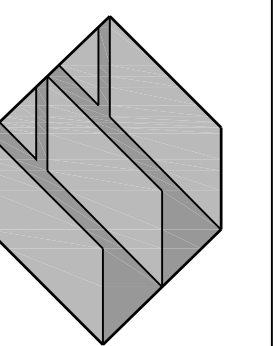
THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.

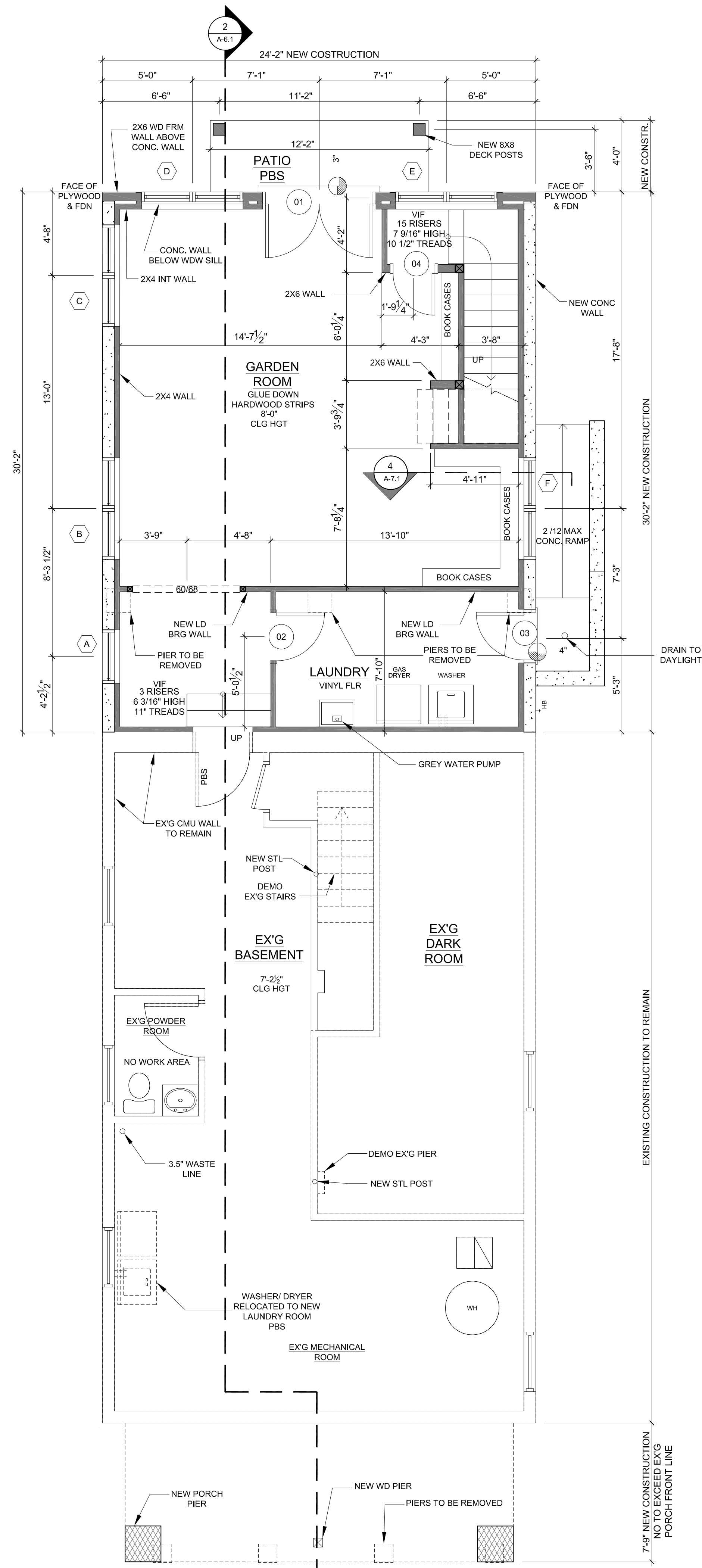
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OF 15 TOTAL			
SHEET TITLE			
<b>FOUNDATION PLAN AND DETAILS</b>			
SHEET SCALE			
X=1'-0" OR AS NOTED			
PHASE	DATE	REVISIONS	
REVIEW	2-16-06		
REVIEW	2-28-06		
REVIEW	4-7-06		
TRADE D.	4-14-06		
PERMIT	6-15-06		

ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE. ALL FINISHES SHALL BE DETERMINED BY THE ARCHITECT. REFER TO ALL PERTINENT INFORMATION FOR ALL DIMENSIONS. DIMENSIONS SHALL BE THE BUILDERS AND THE PROPERTY OWNER. INCORPORATES PROPRIETARY METHODS AND IS NOT TO BE CONSIDERED A STANDARD. WITHOUT THE EXPRESS PERMISSION OF MARK IV BUILDERS, THESE PLANS ARE NOT TO BE REPRODUCED OR COPIED FOR ANY PURPOSES.

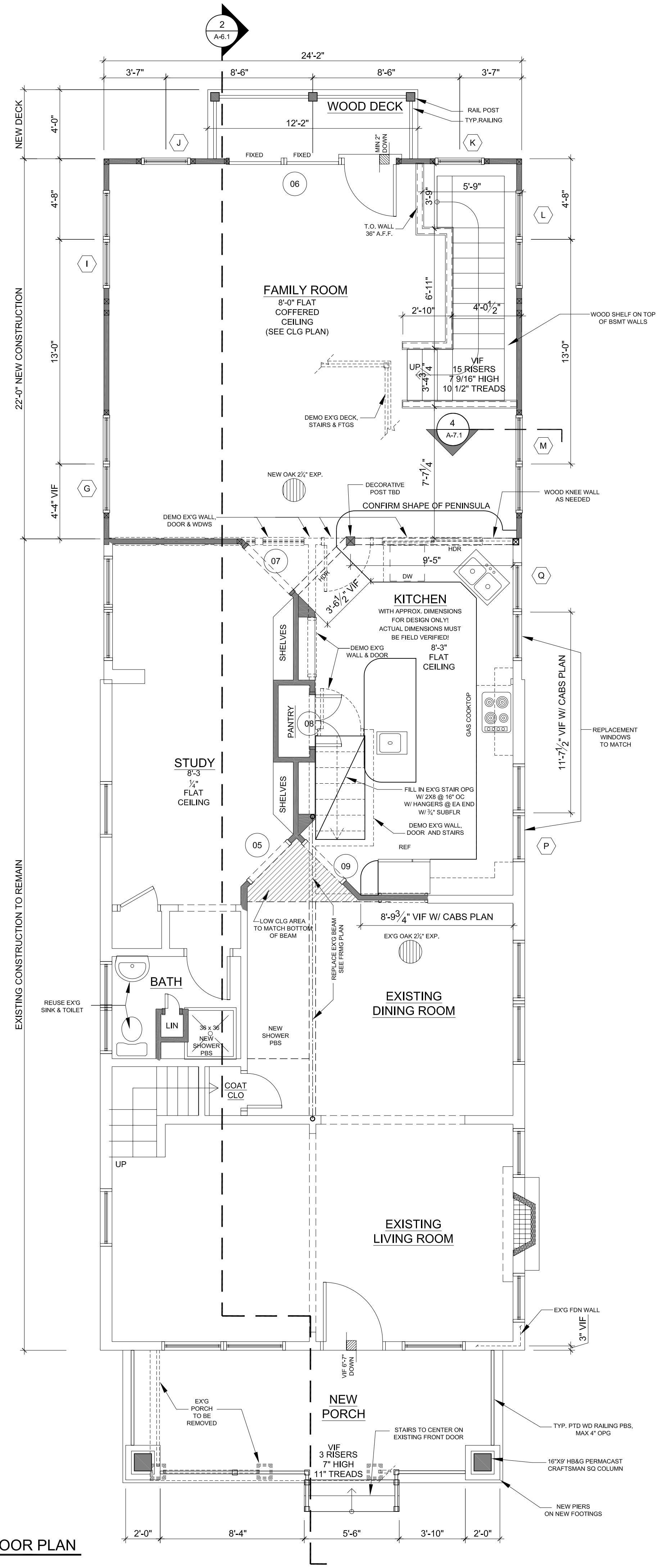
**ROSE-KOHN RESIDENCE**  
 4715 CHEAPEAKE STREET N.W.  
 WASHINGTON D.C. 20016

**MARK IV**  
 A TRADITION OF FINE HOMEBUILDING AND REMODELING





1  
1/4" = 1'-0"



2  
1/4" = 1'-0"

SHEET NUMBER  
**A-2.0**  
OF 15 TOTAL

SHEET TITLE  
**PROPOSED FLOOR PLANS**

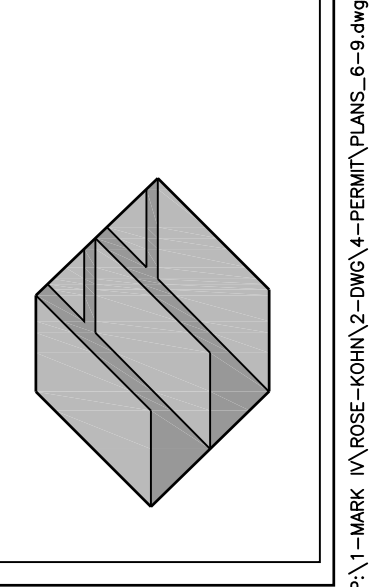
SHEET SCALE  
X=1'-0"  
OR AS NOTED

PHASE	DATE	REVISIONS
REVIEW	2-16-06	
REVIEW	2-28-06	
PRELIM'D	4-7-06	
TRADE D.	4-14-06	
PERMIT	6-15-06	

ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE. ALL FINISHES, MATERIALS AND METHODS SHALL BE AS NOTED OR AS SHOWN. REFER TO THE PROJECT MANUAL FOR A COMPLETE LIST OF FINISHES, MATERIALS AND METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ALL DAMAGE TO ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ALL DAMAGE TO ADJACENT PROPERTIES. DO NOT SCALE DRAWINGS.

PROJECT TITLE  
**ROSE KOHN RESIDENCE**  
4718 CHEAPEAKE STREET N.W.  
WASHINGTON D.C. 20016

BUILDER  
**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING



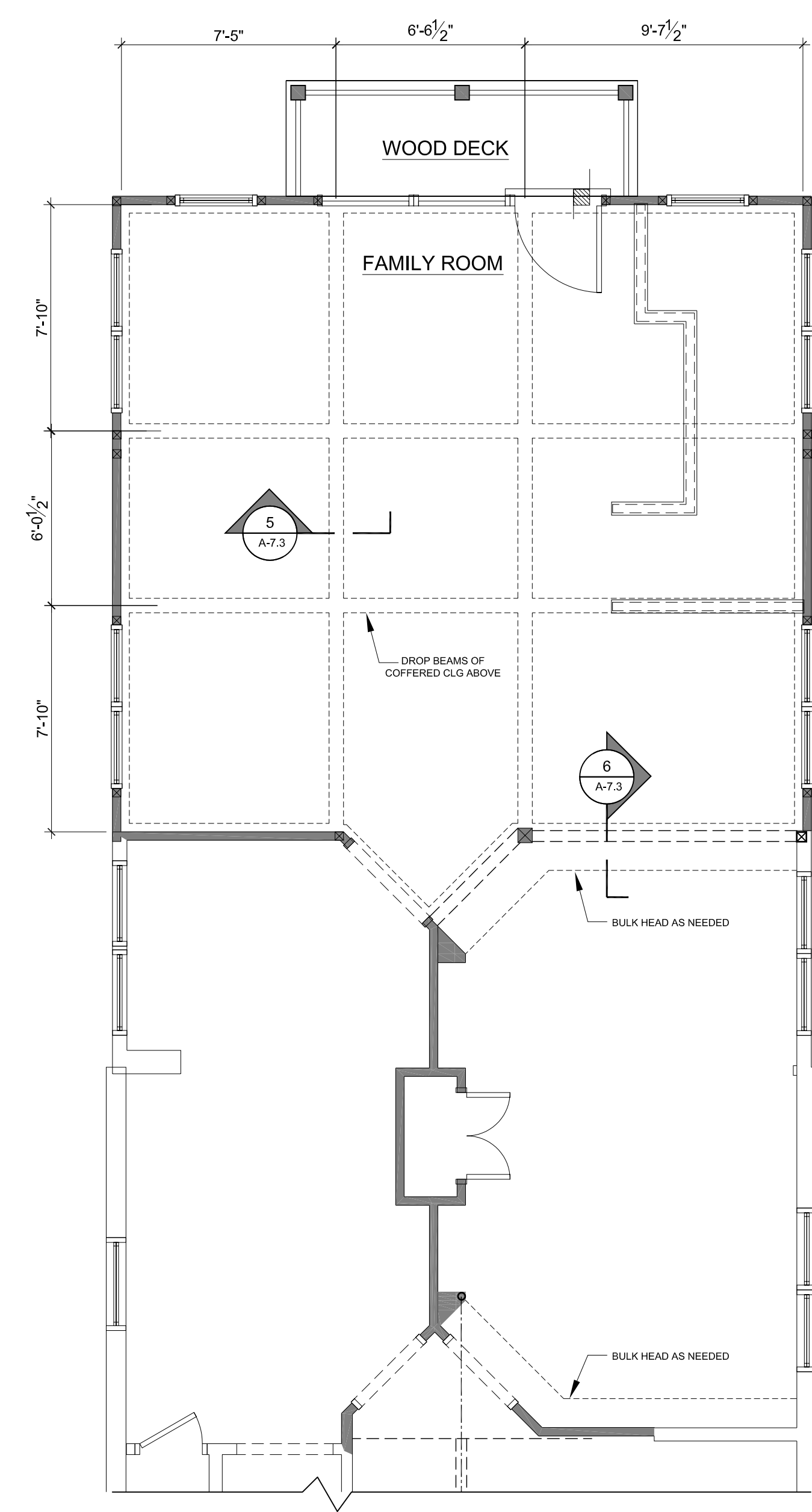
THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.

PHASE	DATE	REVISIONS
REVIEW	2-16-06	
REVIEW	2-28-06	
PRELIM'D	4-7-06	
TRADE D.	4-14-06	
PERMIT	6-15-06	

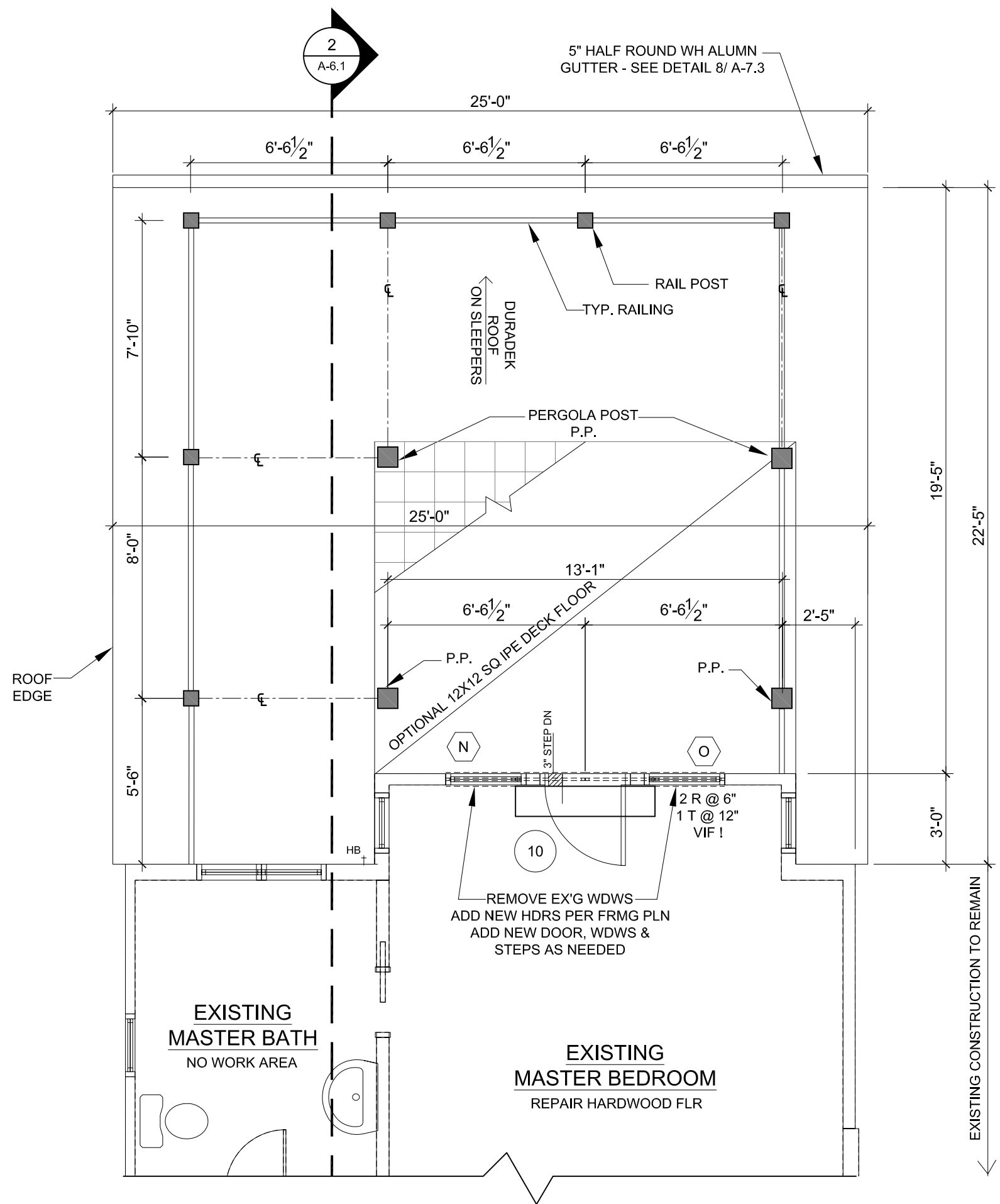
ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE. ALL FINISHES FIELD WORK FOR ALL PERTINENT INFORMATION. COORDINATE ALL FINISHES WITH THE ARCHITECT. REFERENCES SHALL BE TO THE ARCHITECT'S DRAWINGS AND THE PROPERTY OWNER. INADVERTENTLY OMITTED INFORMATION SHALL BE INDICATED BY A NOTE. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE EXISTING CONDITIONS OF WORK AND DOES NOT INCLUDE THE RESPONSIBILITY OF MARKING THE EXISTING CONDITIONS OF WORK.

PROJECT TITLE  
**ROSE KOHN  
RESIDENCE  
4718 CHEESAPEAKE STREET N.W.  
WASHINGTON D.C. 20016**

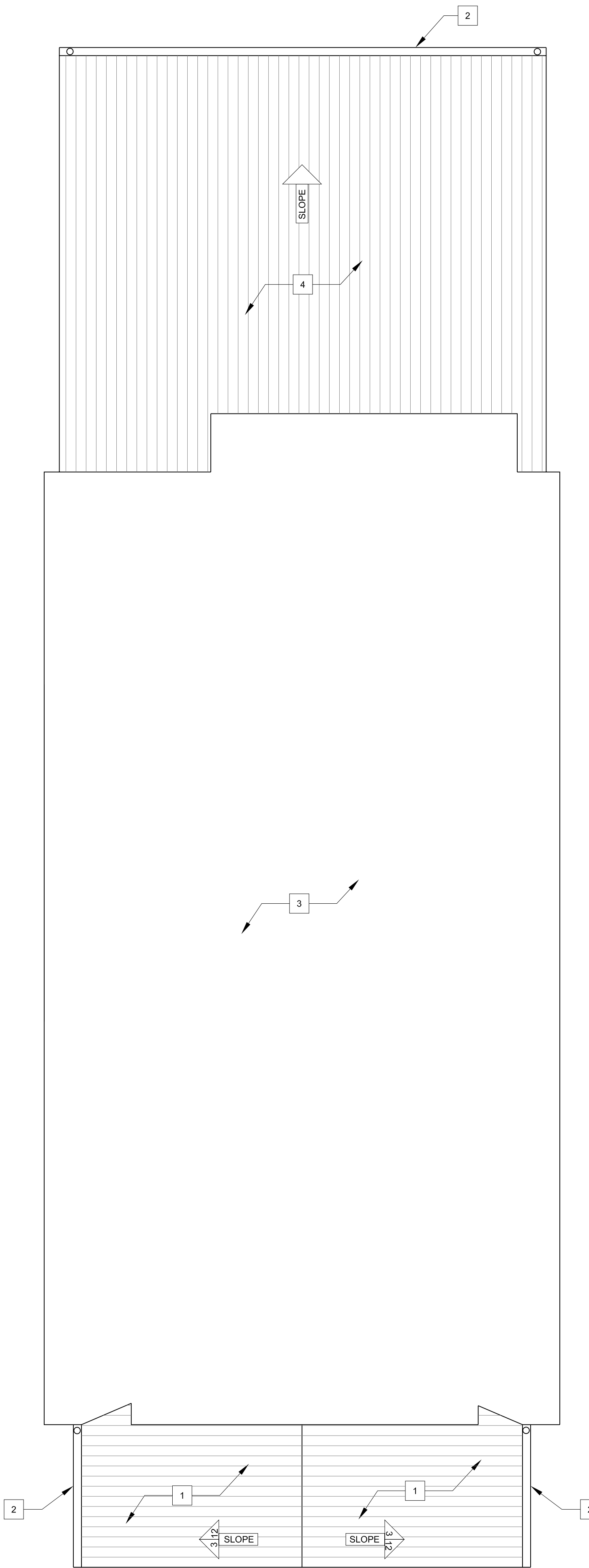
BUILDER  
**MARK IV**  
A TRADITION OF FINE HOMEBUILDING  
AND REMODELING



**3 FIRST FLOOR CEILING PLAN**  
1/4" = 1'-0"



**2 NEW SECOND FLOOR PLAN**  
1/4" = 1'-0"



**1 ROOF PLAN**  
1/4" = 1'-0"

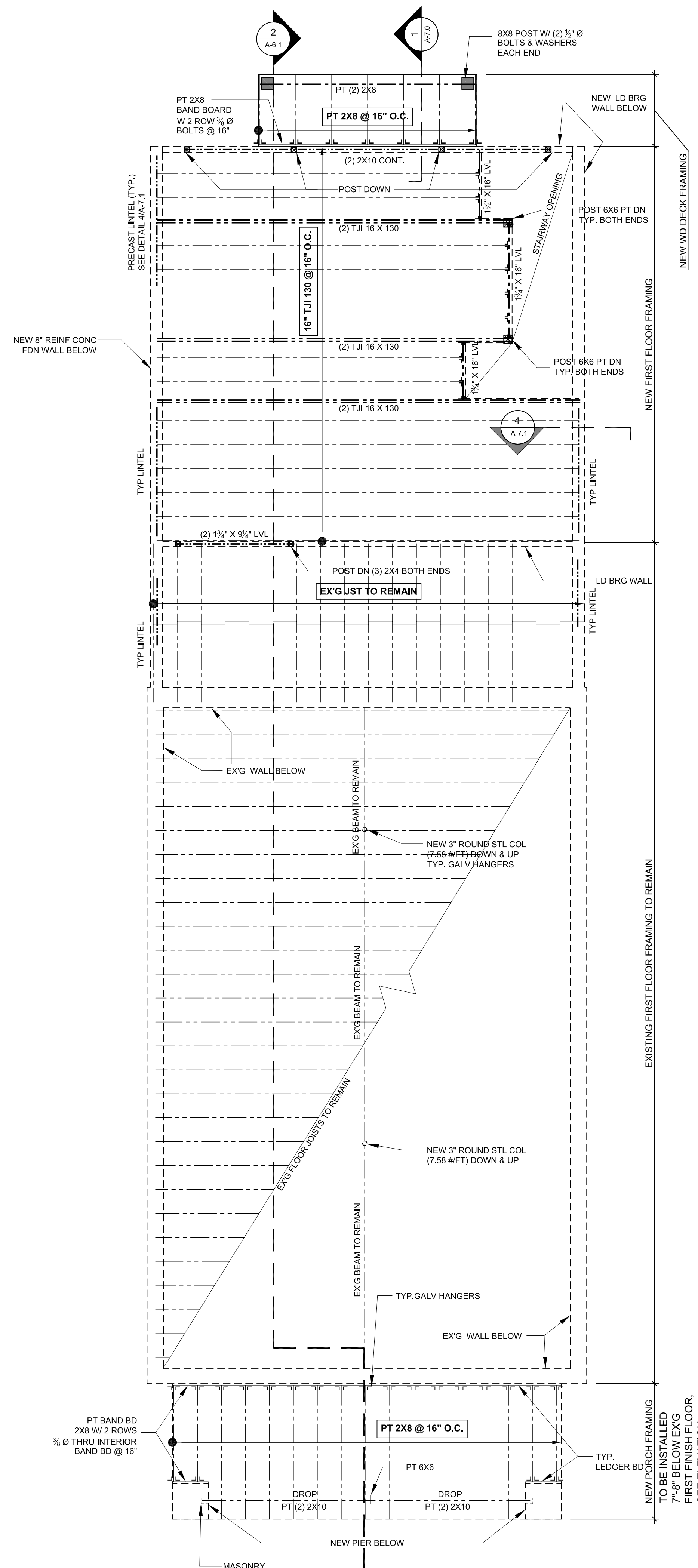
- ROOF PLAN NOTES:**
- 1 NEW ROOF TO BE STD SEAM METAL, COLOR TBD
  - 2 NEW GUTTERS AND SPOUTS
  - 3 EXISTING ROOF TO REMAIN
  - 4 DURADECK ROOF SYSTEM - SLOPE PER MANUFACTURER'S INSTRUCTIONS

**WINDOW SCHEDULE - ROSE/KOHN RESIDENCE 6 / 05 / 06**

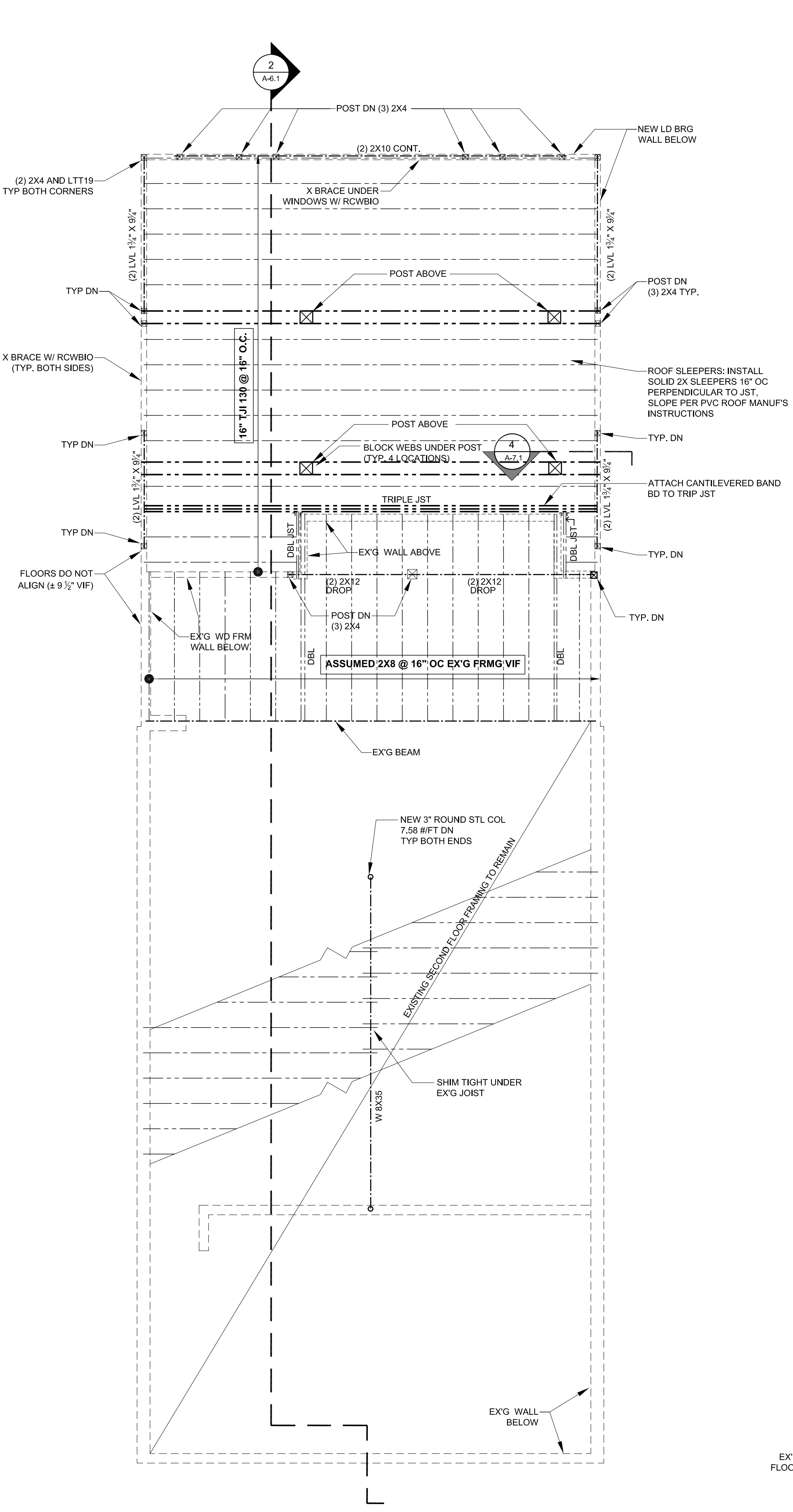
QTY.	TAG	MANUF. ANDERSEN 400 SERIES TILT-WASH DOUBLE HUNG WINDOWS	ROUGH OPG WIDTH HEIGHT	HEAD HEIGHT	SAFETY GLASS	EGRESS REQ'D	REMARKS
1	A	ANDERSEN	3'-0 1/2" 3'-0 1/2"	6'-10"	NO	NO	TW210210
1	B	ANDERSEN	5'-8" 4'-4 1/2"	6'-10"	NO	NO	TW2842-2
1	C	ANDERSEN	5'-8" 4'-4 1/2"	6'-10"	NO	NO	TW2842-2
1	D	ANDERSEN	5'-8" 4'-4 1/2"	6'-10"	YES	NO	TW2842-2
1	E	ANDERSEN	5'-8" 4'-4 1/2"	6'-10"	YES	NO	TW2842-2
1	F	ANDERSEN	5'-8" 4'-4 1/2"	6'-10"	NO	NO	TW2842-2
1	G	ANDERSEN	5'-8" 4'-8 1/2"	6'-10"	NO	NO	TW2846-2
1	I	ANDERSEN	5'-8" 4'-8 1/2"	6'-10"	NO	NO	TW2846-2
1	J	ANDERSEN	2'-10 1/2" 4'-8 1/2"	6'-10"	YES	NO	TW2846
1	K	ANDERSEN	2'-10 1/2" 4'-8 1/2"	6'-10"	YES	NO	TW2846
1	L	ANDERSEN	5'-8" 4'-8 1/2"	6'-10"	YES	NO	TW2846-2
1	M	ANDERSEN	5'-8" 4'-8 1/2"	6'-10"	NO	NO	TW2846-2
1	N	ANDERSEN	2'-8 1/2" 4'-4 1/2"	VIF	YES	NO	TW2642
1	O	ANDERSEN	2'-8 1/2" 4'-4 1/2"	VIF	YES	NO	TW2642
1	P	ANDERSEN	5'-8" 3'-8 1/2"	EX'G HEAD HGT	NO	NO	REPLACEMENT WDW TW2836-2
1	Q	ANDERSEN	5'-8" 3'-8 1/2"	RAISE H.H. TO MATCH WDW P	NO	NO	REPLACEMENT WDW TW2836-2

**DOOR SCHEDULE  
ROSE/KOHN RESIDENCE 6 / 05 / 06**

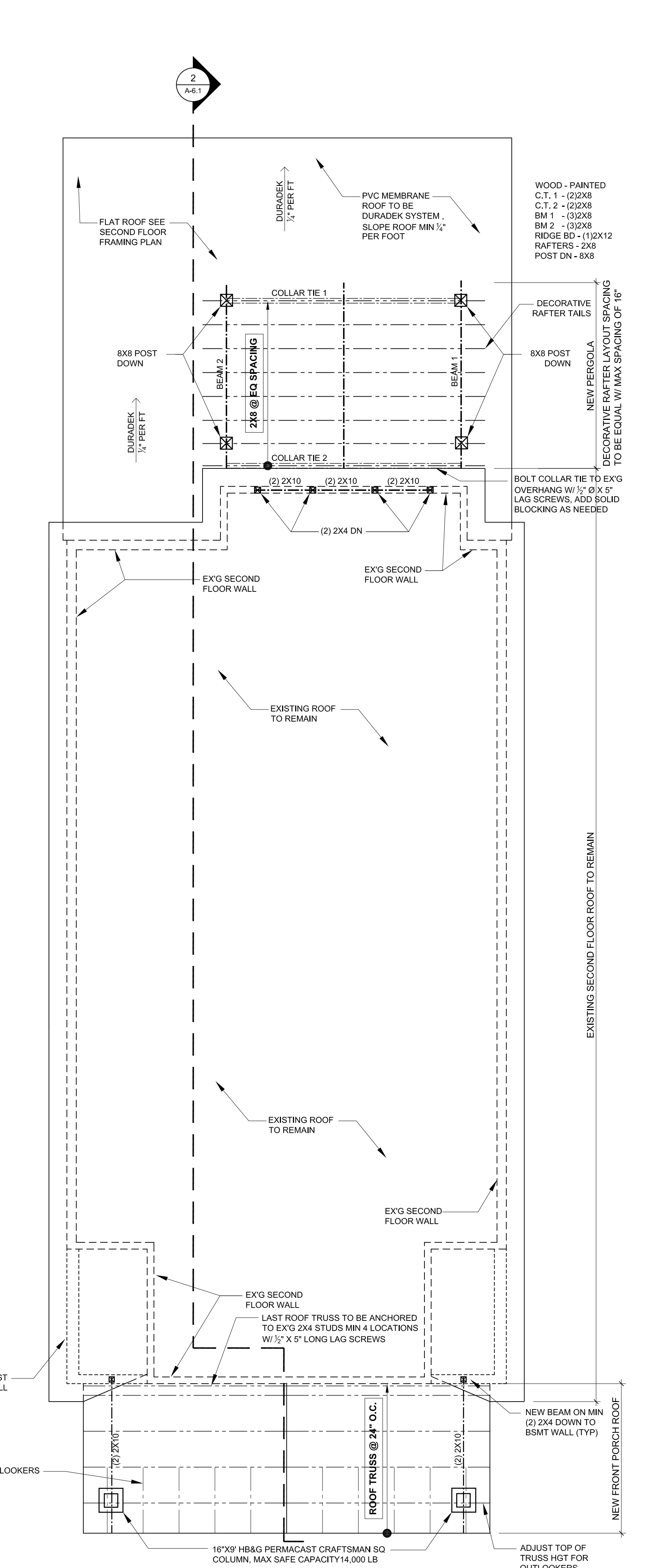
Number	DOOR SIZE WxH	TYPE
01	72 x 80	EXT. FRENCHWOOD - PAIR
02	32 x 80	INTERIOR
03	32 x 80	EXTERIOR
04	28 x 80	INTERIOR
05	36 x 80	Cased Opening
06	8 / 11 X 6 / 10	EXT. FRENCHWOOD- TRIPLE
07	44 x 80	Cased Opening
08	36 x 80	INTERIOR - PAIR
09	36 x 80	Cased Opening
10	32 x 80	EXT. FRENCHWOOD - FULL LITE- VIF SIZE



1 FIRST FLOOR FRAMING PLAN  
1/4" = 1'-0"



2 SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"



3 ROOF FRAMING PLAN  
1/4" = 1'-0"

SHEET NUMBER  
**A-3.0**  
OF 15 TOTAL

SHEET TITLE  
**FRAMING PLANS**

SHEET SCALE  
X=1'-0"  
OR AS NOTED

PHASE	DATE	REVISIONS
REVIEW	2-16-06	
REVIEW	2-28-06	
PRELIM'D	4-7-06	
TRADE D.	4-14-06	
PERMIT	6-15-06	

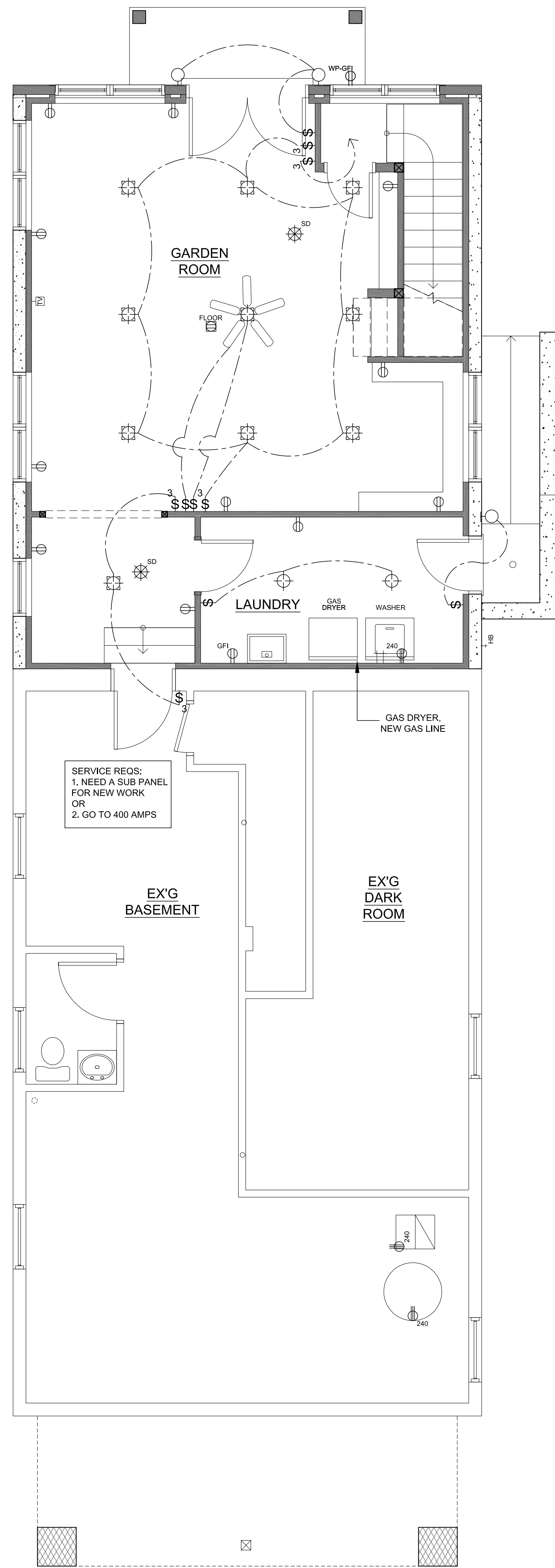
PROJECT TITLE  
**ROSE KOHN RESIDENCE**  
4715 CHEESAPEAKE STREET N.W.  
WASHINGTON D.C. 20016

BUILDER  
**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING

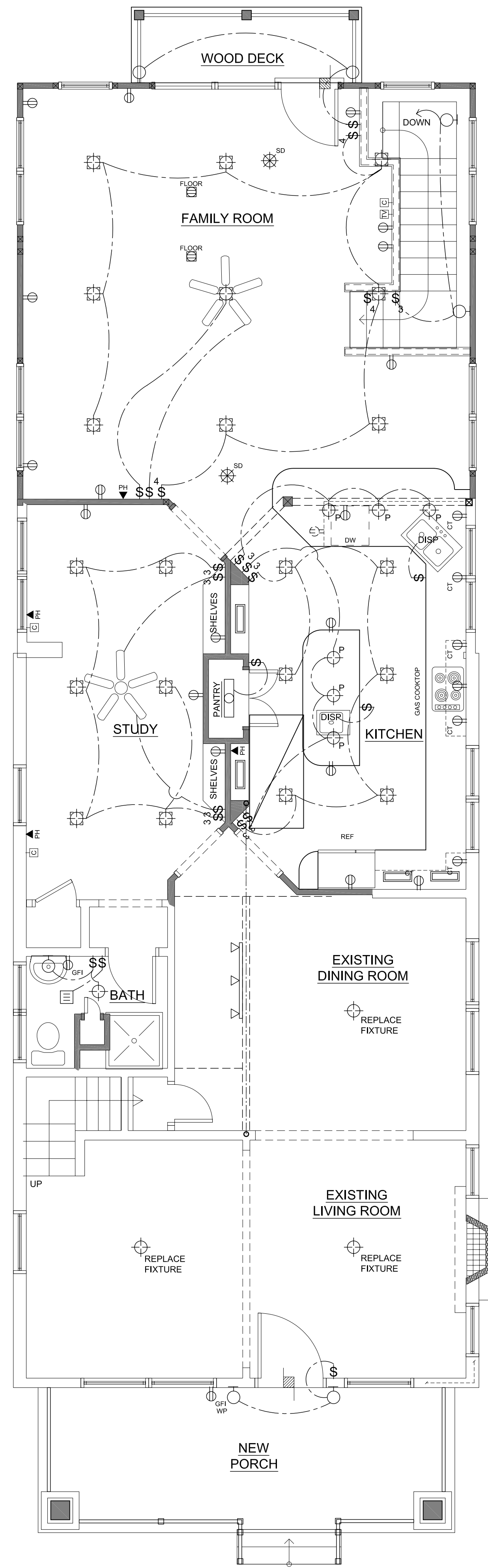
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P: I:\MARK IV ROSE-KOHN 2-DWG 4-PMRIF PLANS\_6-9.dwg August 23, 2006 - 11:51 AM

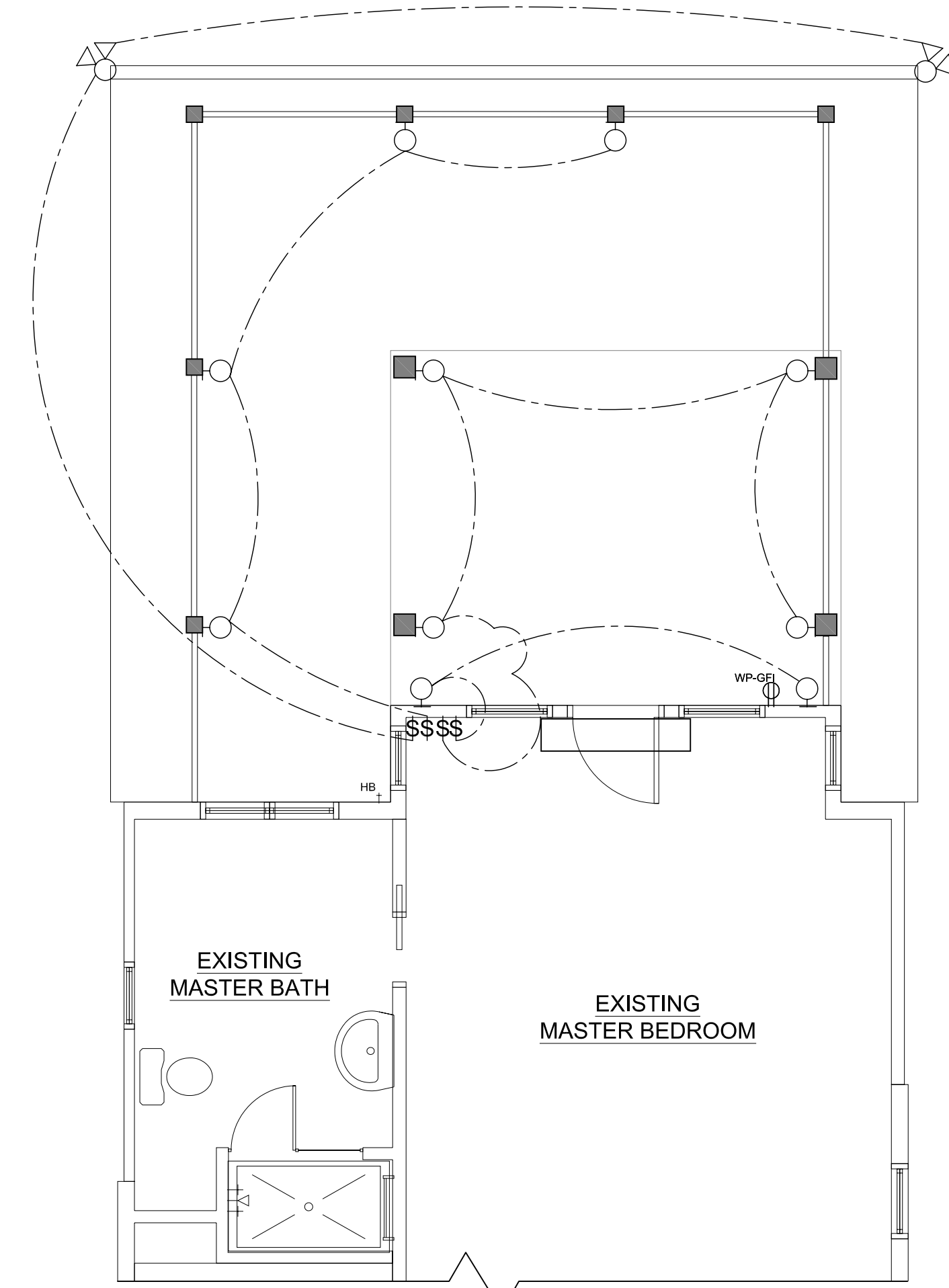
THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.



1 BASEMENT PLAN ELECTRICAL  
1/4" = 1'-0"



2 FIRST FLOOR PLAN ELECTRICAL  
1/8" = 1'-0"



3 SECOND FLOOR PLAN ELECTRICAL  
1/4" = 1'-0"

ELECTRICAL LEGEND			
\$	SWITCH	⊕	SPEAKER
\$ <sub>3</sub>	THREE-WAY SWITCH	⊕	THERMOSTAT
\$ <sub>4</sub>	FOUR-WAY SWITCH	⊕	SMOKE DETECTOR
\$ <sub>R</sub>	RHEOSTAT	⊕	CARBON MONOXIDE DETECTOR
⊕	DUPLEX	⊕	CEILING LIGHT
⊕ <sub>GFI</sub>	GFCI DUPLEX	⊕	RECESSED CEILING LIGHT
⊕ <sub>CT</sub>	COUNTERTOP DUPLEX	⊕	RECESSED EYEBALL LIGHT
⊕ <sub>1/2" HOT</sub>	SPLIT WIRED DUPLEX	⊕	WALL HUNG LIGHT
⊕ <sub>240</sub>	240 VOLT OUTLET	⊕	EYEBALL LIGHT
⊕ <sub>CLNG</sub>	QUADRUPLEX	⊕	LANDSCAPING LIGHT
⊕ <sub>FLOOR</sub>	CEILING DUPLEX	⊕	FLOODLIGHT
⊕	FLOOR DUPLEX	⊕	VENT
⊕	JUNCTION	⊕	VENT AND LIGHT
⊕	DOOR BELL	⊕	HEAT AND LIGHT
⊕	GARAGE DOOR	⊕	HEAT AND VENT
⊕	PHONE OUTLET	⊕	HEAT, VENT AND LIGHT
⊕	TV OUTLET		

SHEET NUMBER  
**A-4.0**  
OF 15 TOTAL

SHEET TITLE  
**ELECTRICAL FLOOR PLANS**

SHEET SCALE  
X=1'-0"  
OR AS NOTED

PHASE	DATE	REVISIONS
REVIEW	2-16-06	
REVIEW	2-28-06	
PRELIM'D	4-7-06	
TRADE D.	4-14-06	
PERMIT	6-15-06	

PROJECT TITLE  
**ROSE KOHN RESIDENCE**  
4715 CHEESAPEAKE STREET N.W.  
WASHINGTON D.C. 20016

BUILDER  
**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING

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P: 11-MARK IV ROSE-KOHN 2-DWG 4-PERMIT PLANS\_6-9.dwg August 23, 2006 11:52 AM

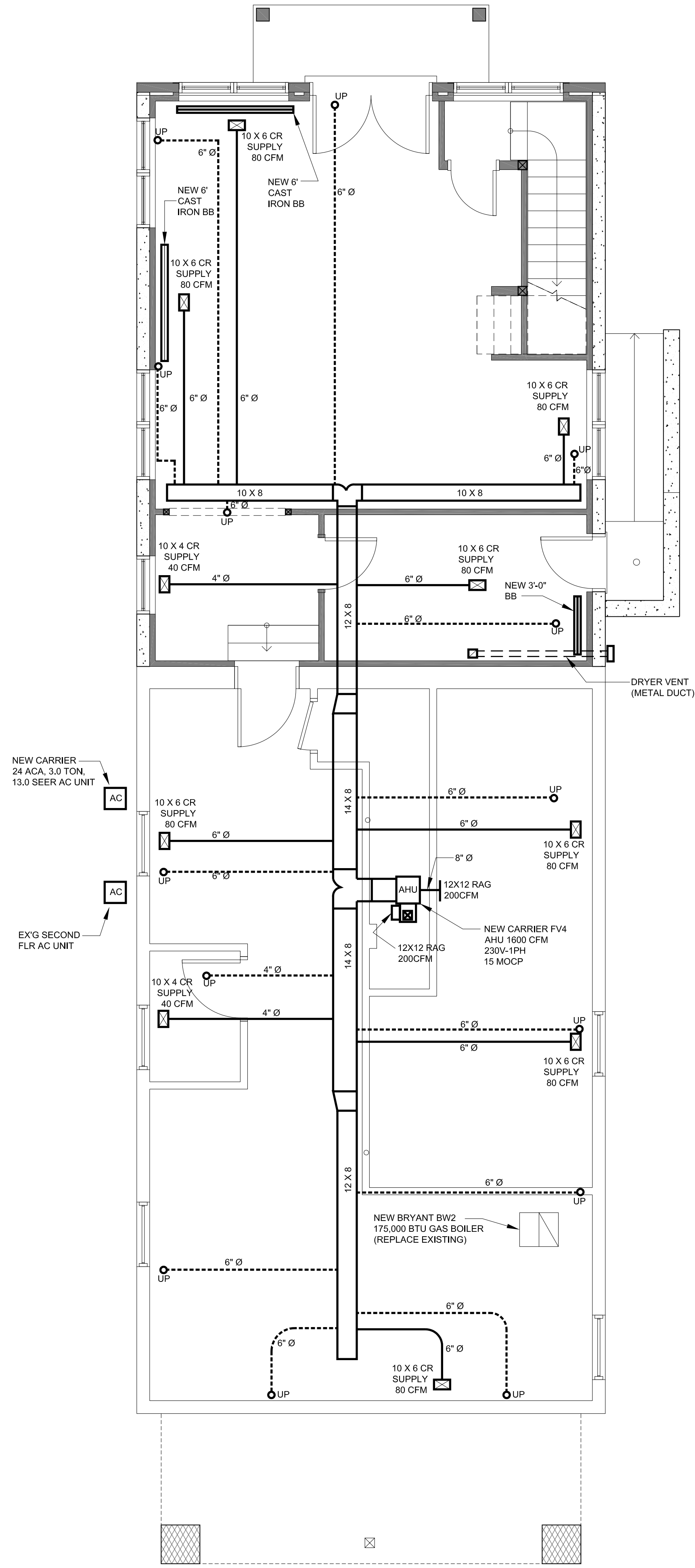
**HVAC INFORMATION**

SUBCONTRACTOR'S NAME \_\_\_\_\_

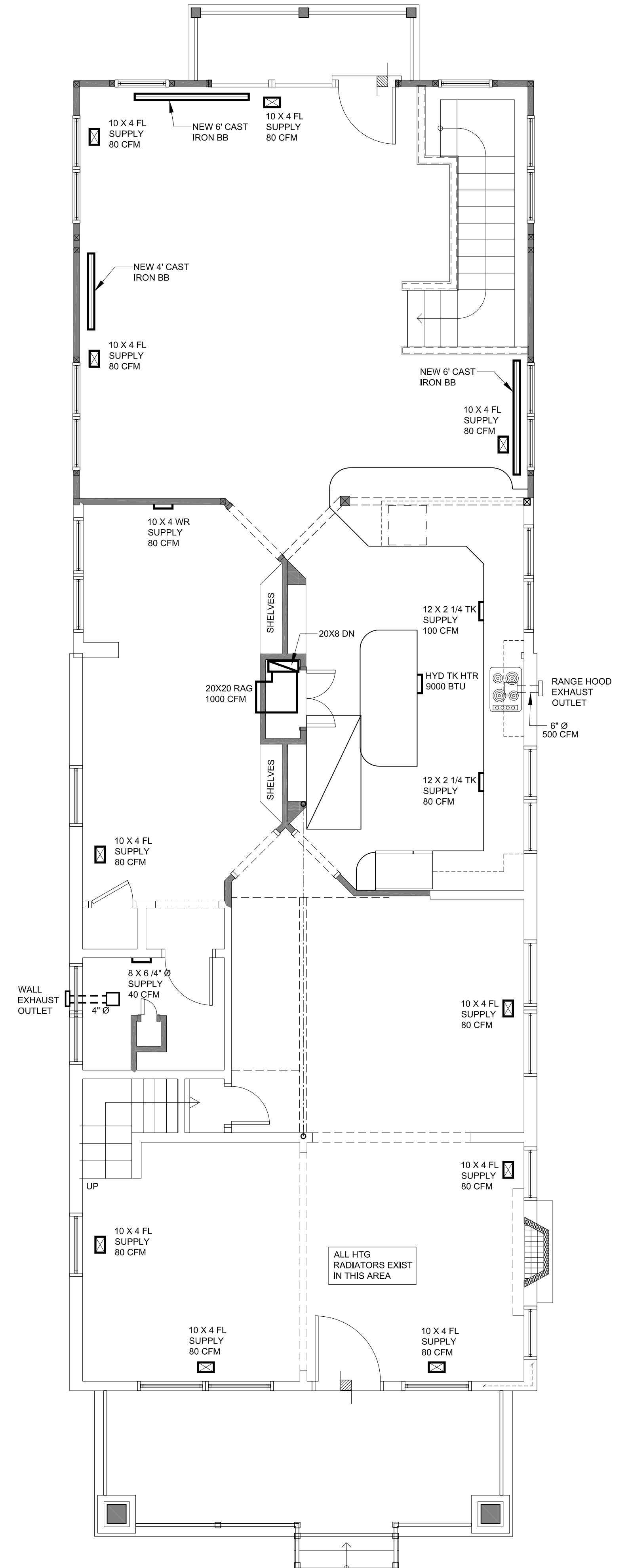
WASHINGTON DC LIC. # \_\_\_\_\_

EQUIPMENT LIST (IF NEW) :

_____	FURNACE
_____	A/C UNIT
_____	COOLING COIL
_____	THERMOSTAT



1 BASEMENT FLOOR HVAC PLAN  
1/4" = 1'-0"



2 FIRST FLOOR HVAC PLAN  
1/4" = 1'-0"

THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.

SHEET NUMBER  
**A-15.0**  
OF 15 TOTAL

SHEET TITLE  
**HVAC FLOOR PLANS**

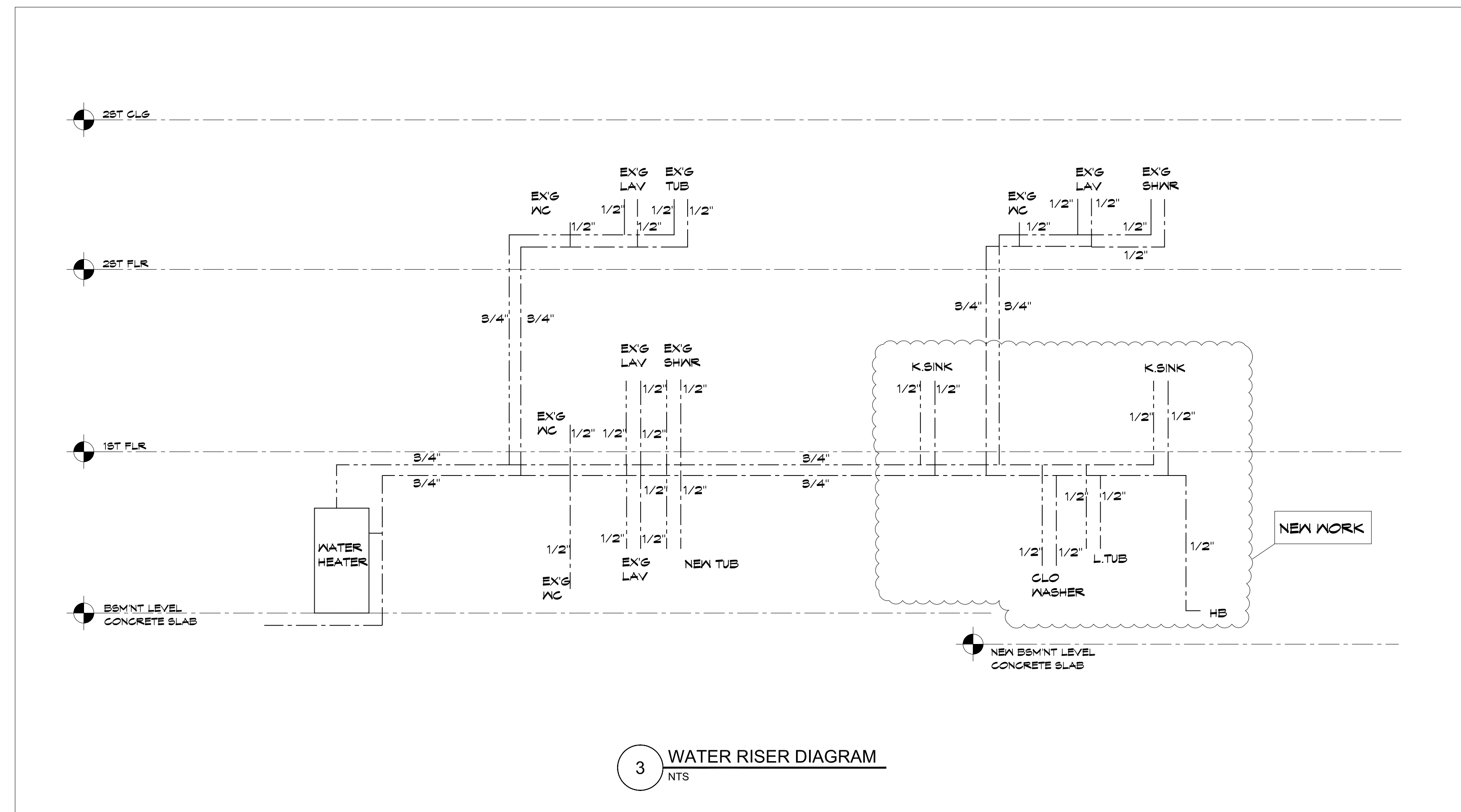
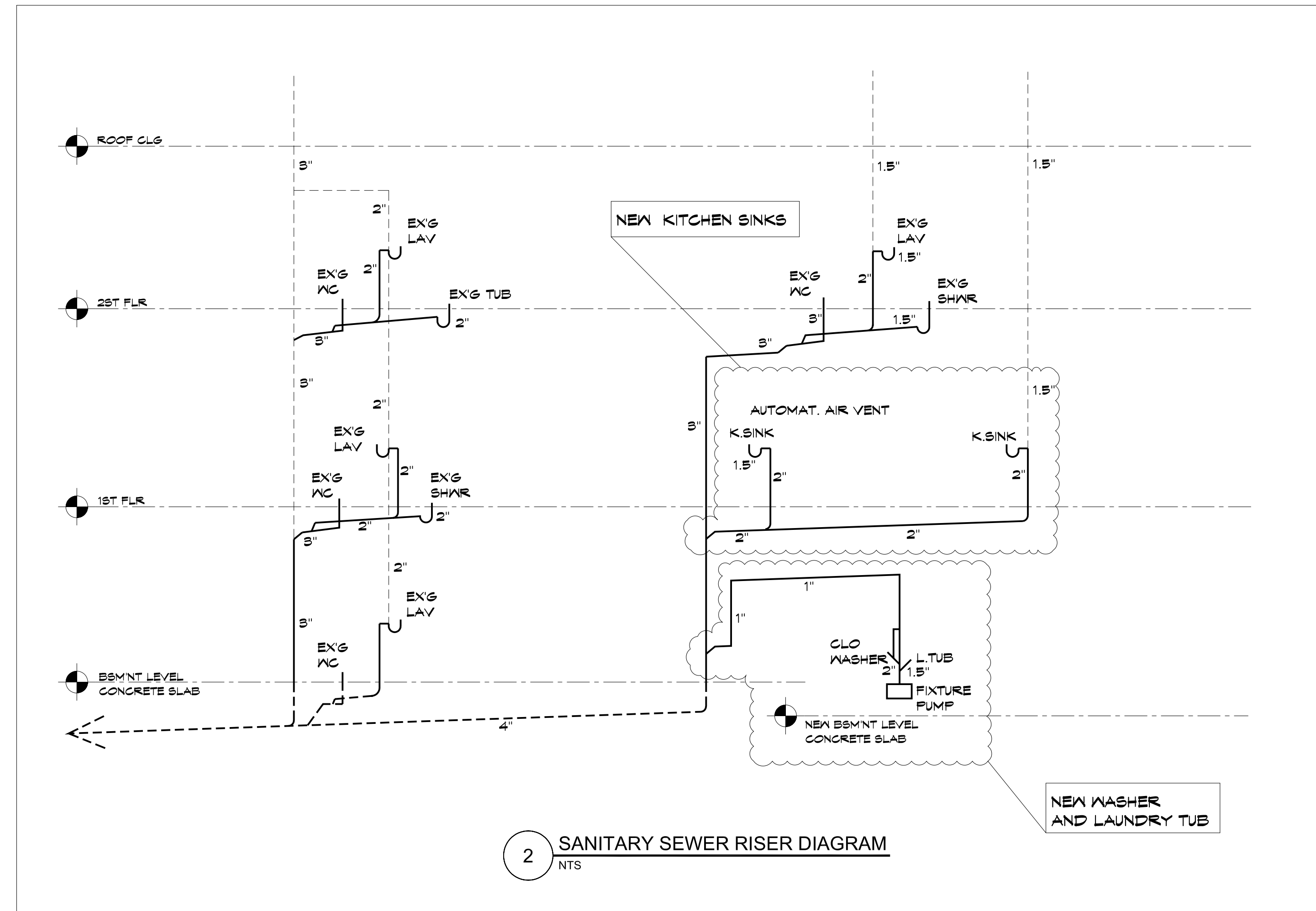
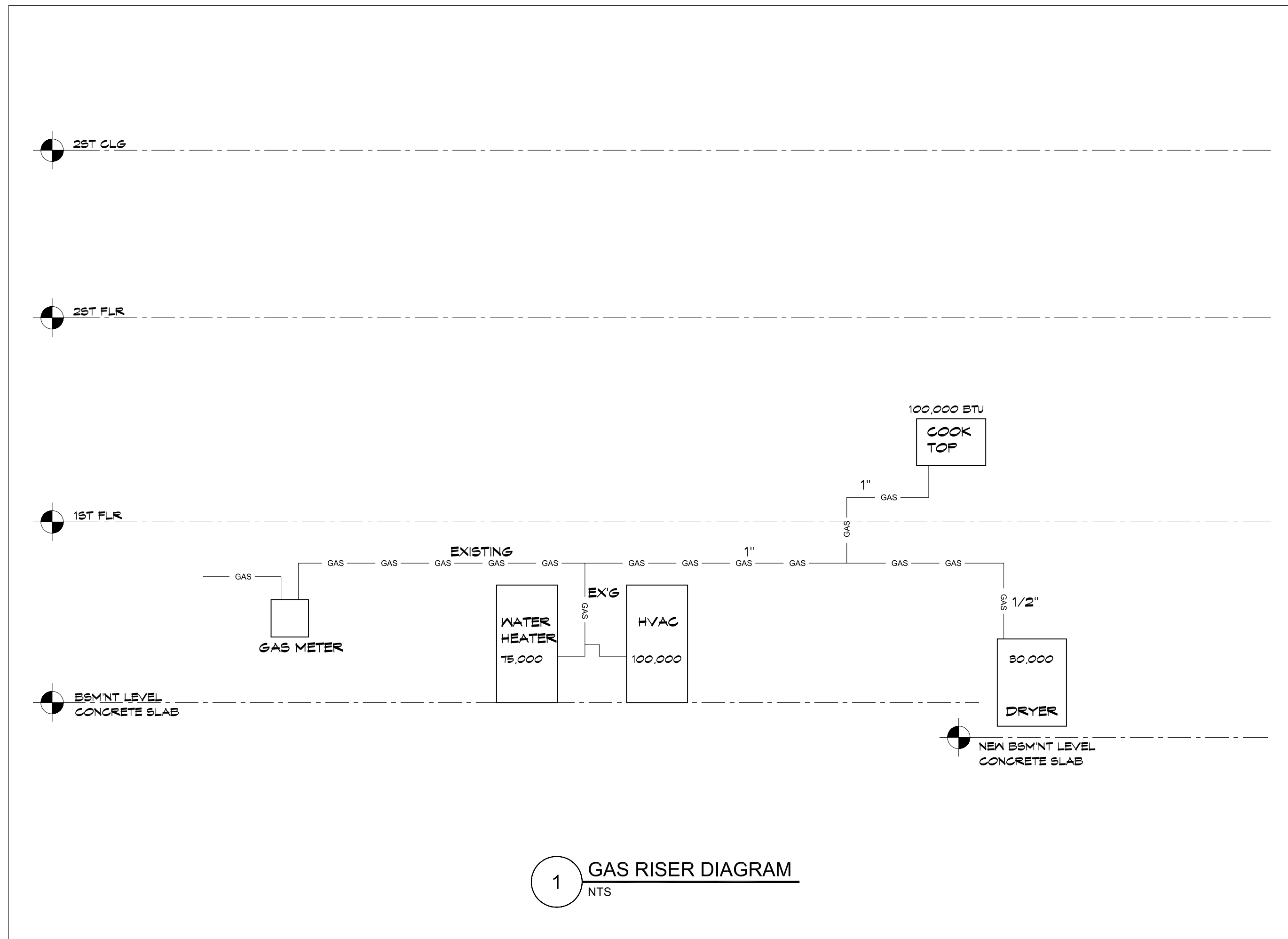
SHEET SCALE  
X=1'-0"  
OR AS NOTED

PHASE	DATE	REVISIONS
REVIEW	2-16-06	
REVIEW	2-28-06	
PRELIM'D	4-7-06	
TRADE D.	4-14-06	
PERMIT	6-18-06	

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PROJECT TITLE  
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4718 CHEESAPEAKE STREET N.W.  
WASHINGTON D.C. 20016

BUILDER  
**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING



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SHEET NUMBER  
**A-U.1**  
OF 15 TOTAL

SHEET TITLE  
**PLUMBING RISER DIAGRAMS**

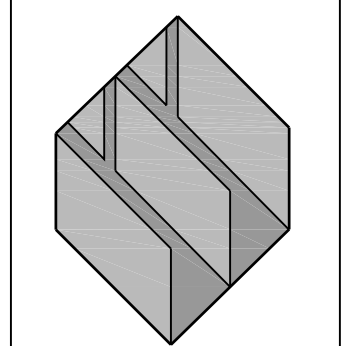
SHEET SCALE  
X=1'-0"  
OR AS NOTED

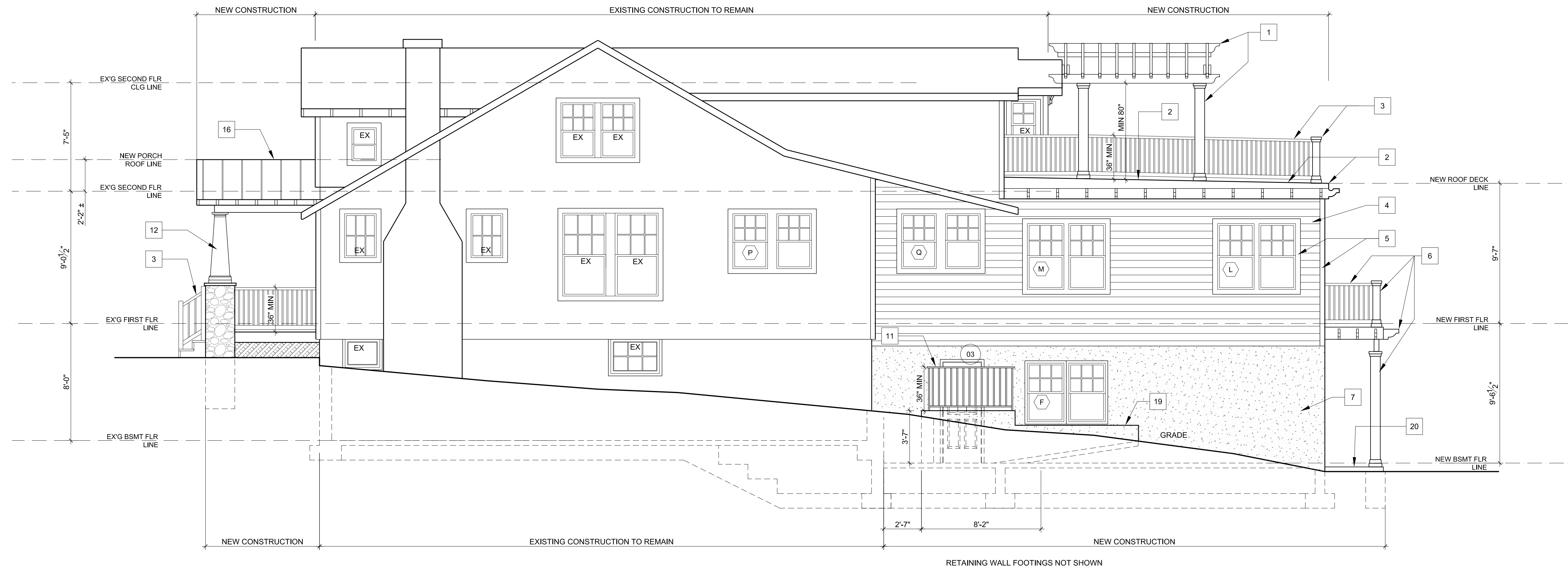
PHASE	DATE
REVIEW	2-16-06
REVIEW	2-28-06
PRELIM'D	4-7-06
TRADE D.	4-14-06
PERMIT	6-15-06

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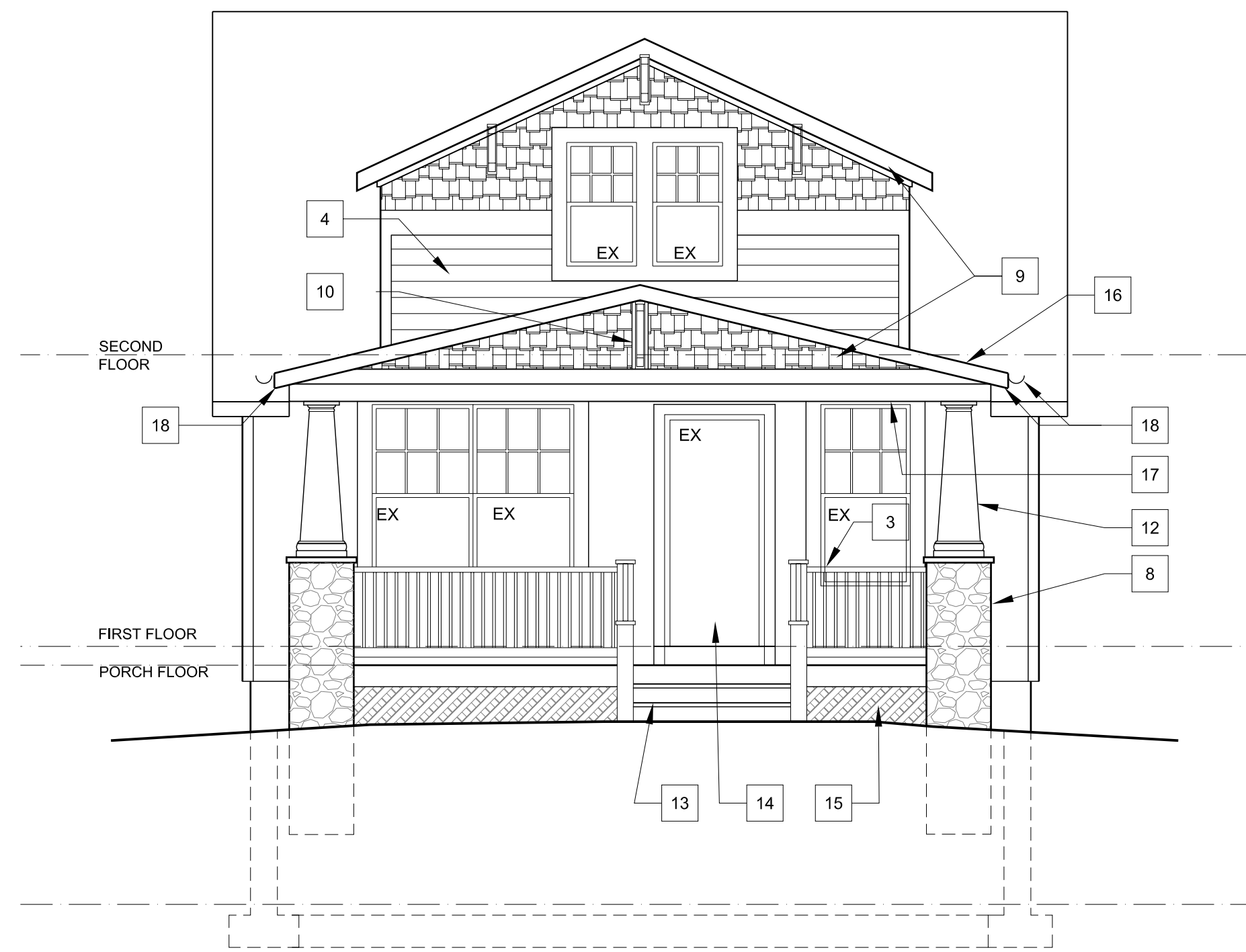
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4718 CHEESAPEAKE STREET N.W.  
WASHINGTON D.C. 20016

BUILDER  
**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING





3 RIGHT ELEVATION  
1/4" = 1'-0"



1 FRONT ELEVATION  
1/4" = 1'-0"

**ALL ELEVATIONS NOTES:**

- 1 WOOD PERGOLA SYSTEM:  
SOLID WD POSTS PBS  
SEE FRAMING PLANS,  
RAFTER TAIL DETAIL 8 / A-7.3
- 2 DURADEK ROOF SYSTEM:  
COLOR TBD,  
SLOPE AND INSTALLATION ACCORDING TO  
MANUF'S INSTRUCTIONS
- 3 TYP. WOOD RAILING SYSTEM
- 4 SIDING SYSTEM:  
BEADED SMOOTH HARDPLANK 7' EXP.  
SEE BLD'R'S SPECS
- 5 EXT. TRIM @ CORNER BDS & WINDOW/ DOOR,  
1/4" X 4 HARDI TRIM
- 6 WOOD DECK W/ 8X8 POST W/ TYP. RAIL SYSTEM  
SEE FRAMING PLAN & DETAIL 7 / A-7.3
- 7 POUR CONC FDN WALL
- 8 RIVER ROCK ON CMU (4'-6" Ø)
- 9 HARDI SHINGLE SIDE - STAGGERED EDGE PANELS  
FRONT GABLES ONLY (PORCH TOO)
- 10 WOOD BRACKET TO MATCH EX'G., SIZE TO FIT
- 11 WROUGHT IRON RAILING
- 12 FRONT PORCH POSTS - HB&G PERMACAST  
CRAFTSMAN SQ COLUMNS
- 13 WOOD STEPS: PT FRAMING W/ IPE TREADS
- 14 EXISTING DOOR TO REMAIN
- 15 WOOD LATTICE
- 16 PORCH ROOF: STD SEAM METAL PBS
- 17 WD BEADED PORCH CLG
- 18 ROOF OVERHANG & DETAILS TO MATCH EX'G  
OVERHANG W/ 5" HALF-ROUND WH ALUMN GUTTER
- 19 CONC REINF RETAIN WALL W/ CONC RAMP
- 20 FLAGSTONE LANDING PBS



2 REAR ELEVATION  
1/4" = 1'-0"

THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.

SHEET NUMBER  
**A-6.0**  
OF 15 TOTAL

SHEET TITLE  
**NEW ELEVATIONS**

SHEET SCALE  
X=1'-0"  
OR AS NOTED

PHASE	DATE	REVISIONS
REVIEW	2-16-06	BY: [Signature]
REVIEW	2-26-06	BY: [Signature]
PRELIM.D.	4-7-06	BY: [Signature]
TRADE D.	4-14-06	BY: [Signature]
PERMIT	6-15-06	BY: [Signature]

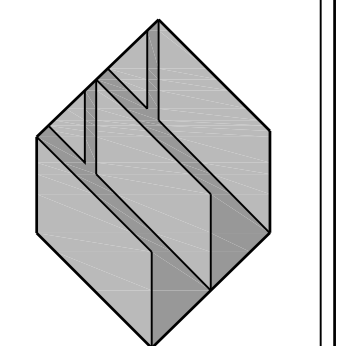
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DO NOT SCALE DRAWINGS

PROJECT TITLE

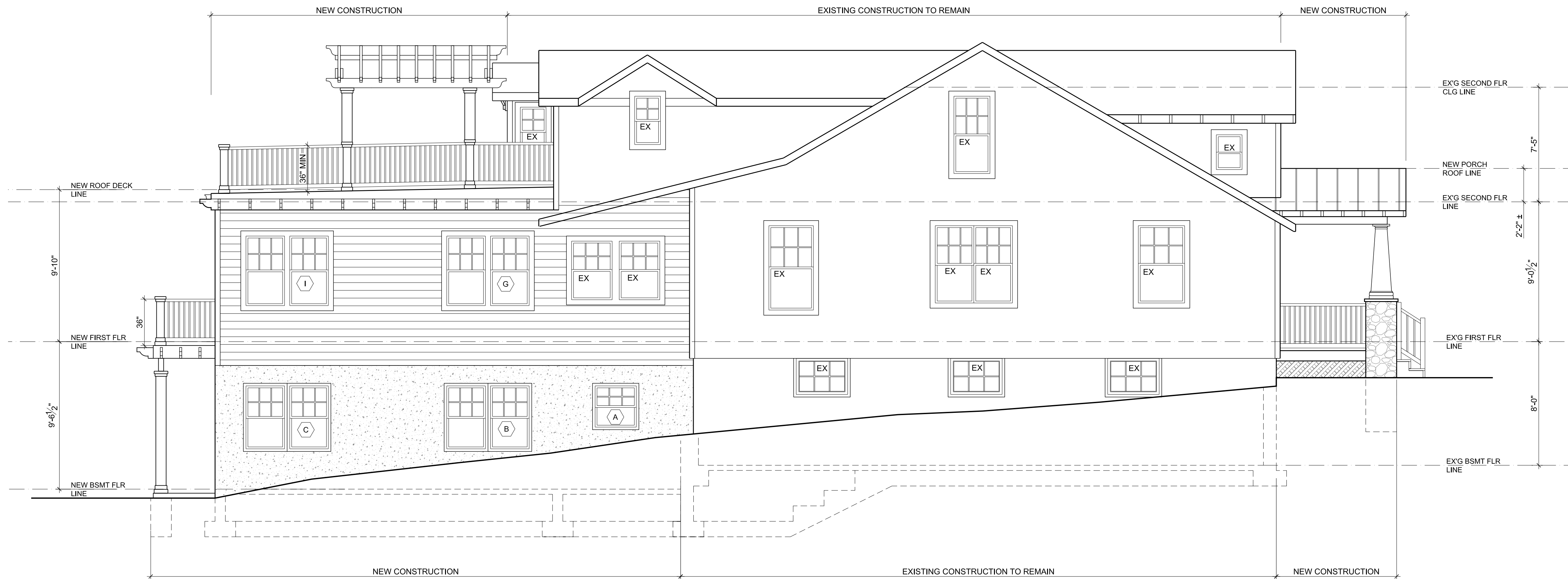
**ROSE-KOHN RESIDENCE**  
4715 CHEESAPEAKE STREET N.W.  
WASHINGTON D.C. 20016

BUILDER

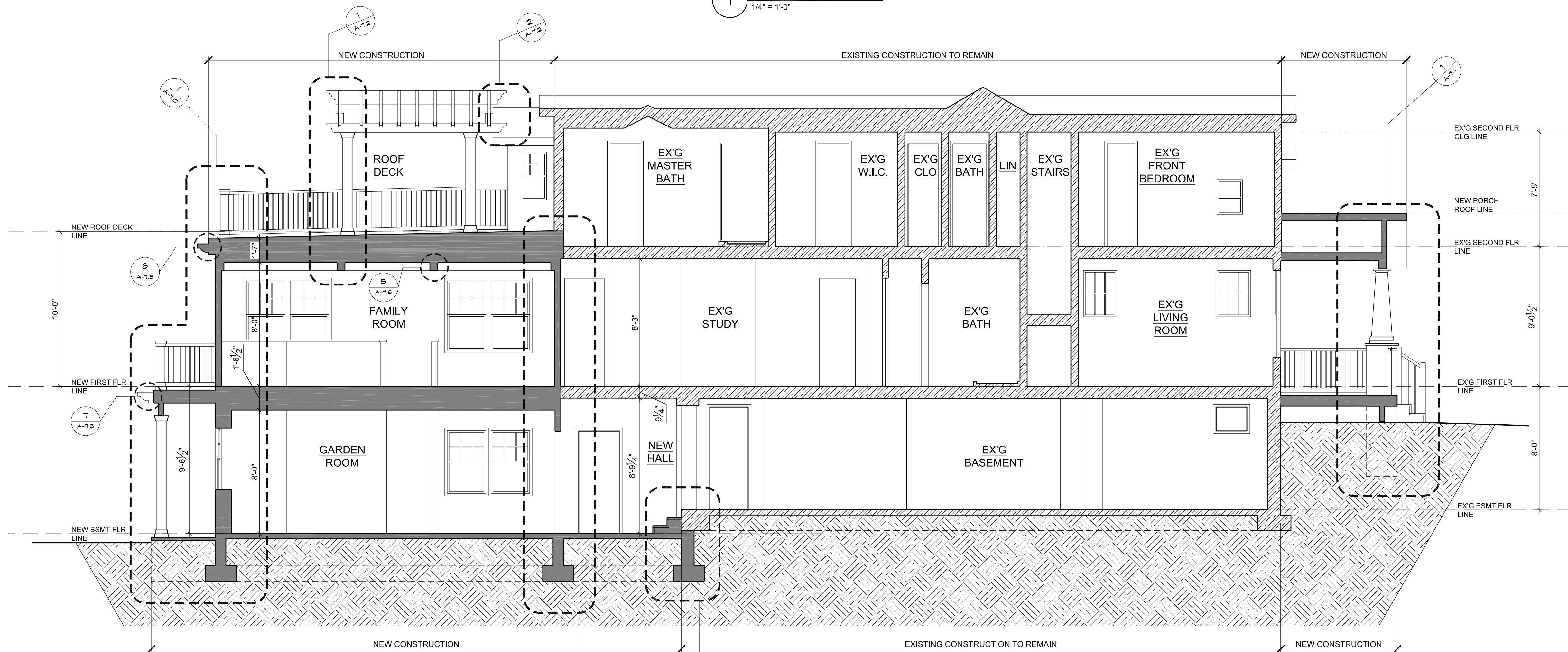
**MARK IV**  
A TRADITION OF FINE HOMEBUILDING  
AND REMODELING







1 LEFT ELEVATION  
1/4" = 1'-0"



2 BUILDING SECTION  
1/4" = 1'-0"

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SHEET NUMBER  
**A-6.1**  
OF 15 TOTAL

SHEET TITLE  
**NEW ELEVATION AND BUILDING AND SECTION**

SHEET SCALE  
**X=1'-0"**  
OR AS NOTED

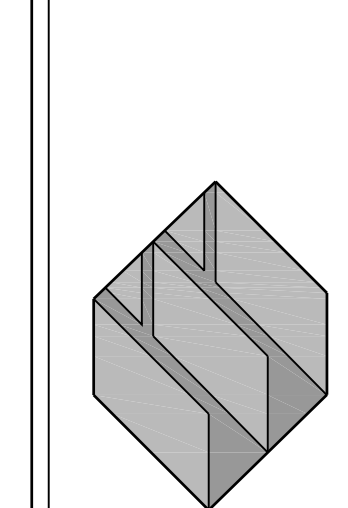
PHASE	DATE	REVISIONS
REVIEW	2-16-06	REVISED PER ALL PERMIT INFORMATION
REVIEW	2-26-06	REVISED PER ALL PERMIT INFORMATION
REVIEW	4-7-06	REVISED PER ALL PERMIT INFORMATION
TRADE P	4-14-06	REVISED PER ALL PERMIT INFORMATION
PERMIT	6-13-06	REVISED PER ALL PERMIT INFORMATION

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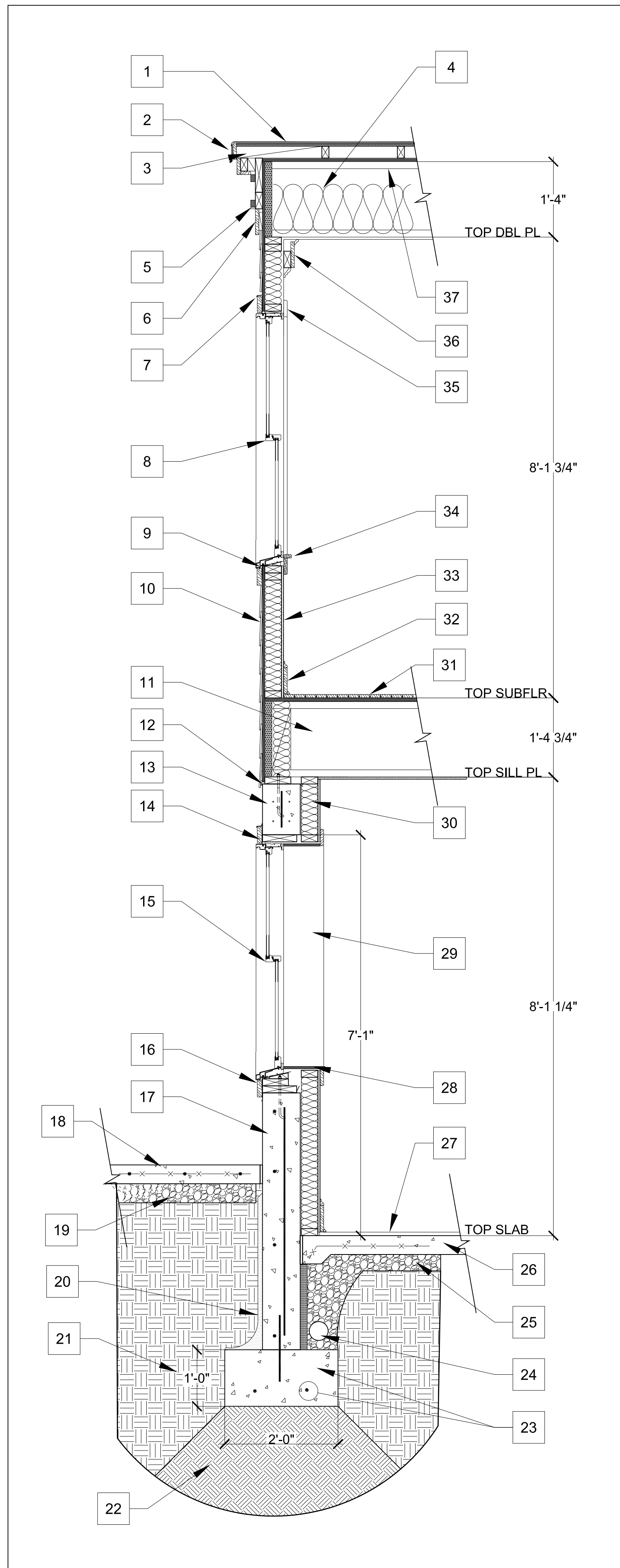
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WASHINGTON D.C. 20016

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**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING







4 SIDE WALL SECTION DETAIL  
3/4" = 1'-0"

**SIDE WALL SECTION DETAIL NOTES:**

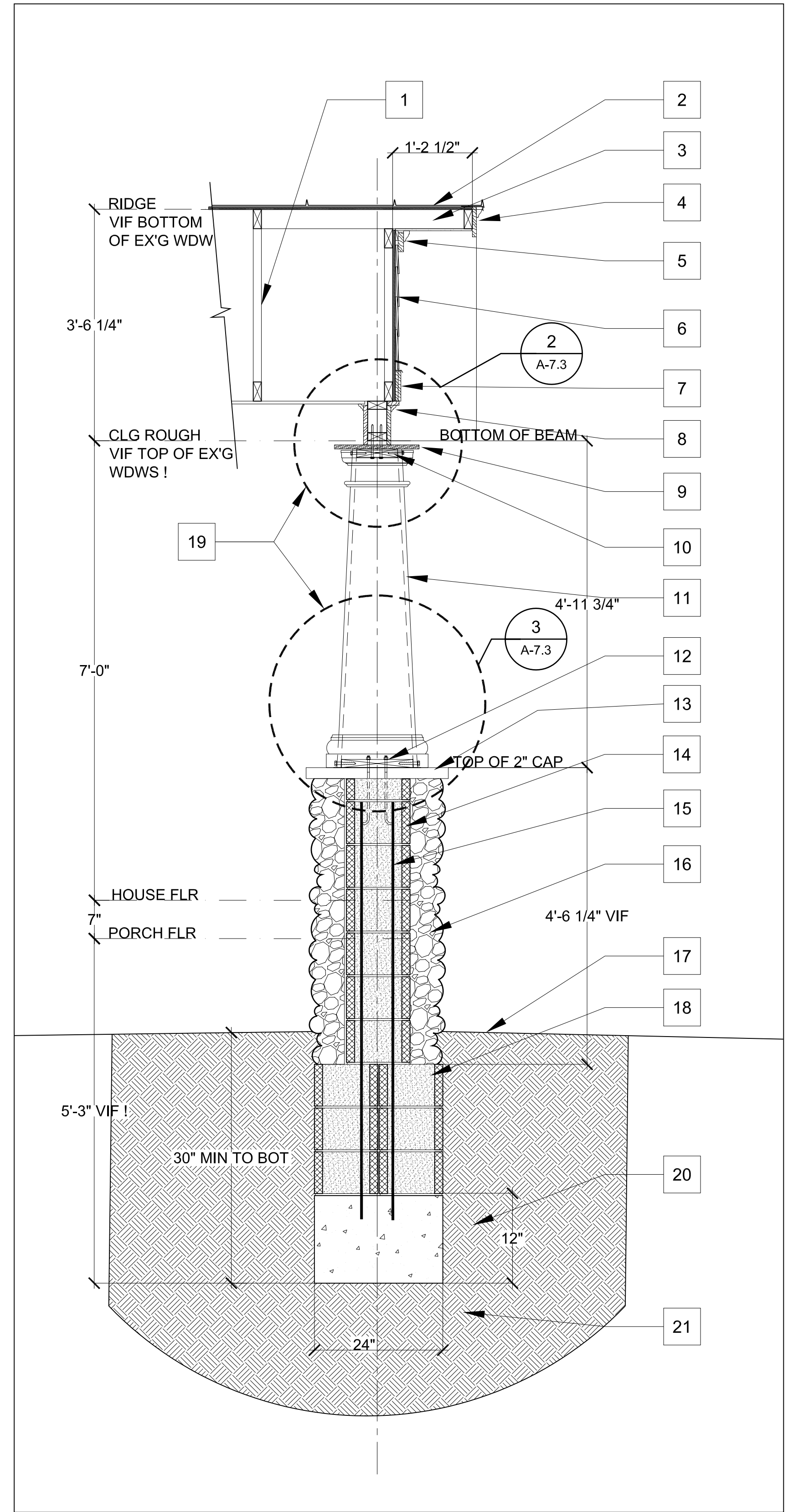
**SEE STRUCTURAL NOTES:**

- 1 TYPICAL "DURADEK" ROOF SYSTEM: PVC ROOF MEMBRANE MUST BE INSTALLED PER ALL MANUF. INSTRUCTIONS AND DETAILS. INSTALLED WOOD SLEEPERS TO PROVIDE MIN SLOPE OF 1/2" /FT
- 2 DURADEK ROOF EDGE SEE DETAIL
- 3 SLEEPER OUTLOOKERS PERPEND. TO MAIN SLEEPERS TO PROVIDE OVERHANGS AS NEEDED
- 4 TYPICAL R30 F. GLASS CEILING INSUL AT ALL CLG LOCATIONS
- 5 INSTALL CONT 1" X 1 1/2" CORAVENT ROOF VENTILATION BEHIND 2X8 FASCIA, 2 ROWS
- 6 TYPICAL LEAVE OVERHANG: 1/2" X 6 WD PTD FRIEZE BD INSTALLED TO ACCEPT SIDING
- 7 TYPICAL WINDOW AND DOOR HEAD: 1/2" X 4 WD PTD W/ WHITE ALUM DRIP EDGE LONG LEG OF FLASHING BEHIND HOUSE WRAP/FLASHING
- 8 TYPICAL WINDOW - SEE SCHEDULE PROVIDE FLEXIBLE FLASHINGS ON ALL FOUR SIDES OF ALL EXTERIOR OPENINGS- HEAD FLASH LAST
- 9 WINDOW SILL AND/OR EXT DOOR THRESHOLDS W/ FLASHING BEFORE INSTALL OF WINDOW /DR UNIT
- 10 TYPICAL EXTERIOR WALL: 2X4 WD STUD AT 16" OC W/ DBL TOP PLATES AND SINGLE SOLE PLATE W/ 1/4" OSB SHT'G NAILED W/ 6D @ 6" OC MAX W/ HOUSE WRAP, W/ HARDI-PLANK SIDING AT 6" EXPOSURE W/ 1/2" X 4 WD PTD CORNER BDS, DOOR AND WINDOW EXT TRIM CASING (WHERE APPROPRIATE)
- 9 TYPICAL INTERIOR TRIM CASINGS: SIMILAR TO EXISTING- NOTE! AT WINDOW AND DOOR ROUGH IN MAKE SURE THERE IS ADEQUATE ROOM FOR ALL CASINGS
- 11 TYPICAL I-JOIST: 16" (UNO) I-JST AT 16" OC W/ 3/4" T&G SUBFLR GLUED AND SCREWED PER MANUFACTURER'S RECOMMENDATION W/ R30 F. GLASS BATT INSUL AT EXT BAND RIM BD LOCATIONS- SEE FRAMING PLAN FOR ALL INFORMATION
- 12 WHITE ALUM DRIP FLASHING UNDER HOUSE WRAP AND SIDING
- 13 PRECAST CONC LINTEL W/ SAFE LOAD CAPACITY = 2000 PSF. PROVIDE 4" SUPPORT EA END. MANUF. TO PROVIDE SHOP DWGS & REQUIRED ANCHORAGE. SEALED BY PROF. ENGR.
- 14 1/2" X 4 PTD WINDOW HEAD TRIM AT CONC OPENINGS TO BE FLASHED W/ WHITE ALUM DRIP CAP AND CAULKED TO POURED CONC FDN WALL
- 15 SEE # 8
- 16 1/2" X 4 PTD WINDOW SILL TRIM AT CONC OPENINGS TO BE FLASHED W/ WHITE ALUM DRIP AND CAULKED TO POURED CONC FDN WALL, EXTEND UP AND UNDER CONC OPENING SILL FLASHING
- 17 TYPICAL FOUNDATION WALL: POURED IN-PLACE 8" WIDE W/ #4 VERT & HORIZ @ 16" OC & #4 X 12" FTG DOWELS @ 16" OC WITH SMOOTH EXT FINISH
- 18 4" CONC SLAB SLOPED TO AREAWAY W/ #4 @ 16 EA WAY
- 19 4" GRAVEL ON FIRM SOIL
- 20 MASONRY PARGING W/ BITUMINOUS DAMP-PROOFING
- 21 STABLE COMPACTED BACK FILL, DRY & FREE OF ORGANICS
- 22 UNDISTURBED SOIL W/ MIN 2000 SAFE PSF BRG. CAPABILITY UNDER ALL TRENCH FOOTINGS
- 23 TYPICAL FDN WALL FOOTING: SIZE PER FDN PLAN U.N.O. W/ MIN (2) #4 REBAR
- 24 INTERIOR DRAIN PIPE SYSTEM: 4" DIA PERF BLACK PLASTIC PIPE SLOPES OUTLET TO INTERIOR SUMP PIT
- 25 4" GRAVEL ON STABLE SOIL
- 26 TYP 4" CONC INTERIOR SLAB ON 6 MIL POLY VB W/ 6X6X10 ??? WIRE MESH W/ EXP AND CONTROL JOINTS AS REQUIRED
- 27 GARDEN RM INTERIOR FLOOR FINISH PBS
- 28 GARDEN ROOM OPENINGS W/ PLYWOOD EXTENSION JAMBS
- 29 SAME AS ABOVE
- 30 TYPICAL INTERIOR WALL: 2 X 4 STUDS AT 16" OC W/ 1/2" PTD DRYWALL BOTH SIDES UNO
- 31 FAMILY RM FLOOR FINISH PBS
- 32 TYPICAL INTERIOR BASE BD TO MATCH EXISTING HOUSE BASE BD
- 33 TYPICAL INTERIOR WALL AND CLG FINISH SHALL BE 1/2" PTD DRYWALL
- 34 WINDOW STOOL TO MATCH EXISTING HOUSE WINDOW STOOL
- 35 WINDOW AND DOOR TRIM CASINGS TO MATCH EXISTING AS CLOSE AS POSSIBLE
- 36 HALF DECORATIVE BEAM W/ UPPER WM-75 & 1X6 & WM-70 W/ 2X4 BLK
- 37 TYPICAL I-JOIST ROOF SYSTEM(S): 16" (UNO) I-JST AT 16" OC W/ 3/4" T&G SUBFLR GLUED AND SCREWED PER MANUFACTURER'S RECOMMENDATION W/ CONT R30 F. GLASS BATT INSUL AT EXT BAND RIM BD LOCATIONS- SEE FRAMING PLAN FOR ALL INFORMATION

**FRONT PORCH PIER SECTION DETAIL**

**SEE STRUCTURAL NOTES**

- 1 ENGR'D ROOF TRUSS SYSTEM AT 24" OC - SEE 6/A-7.2
- 2 STANDING SEAM METAL ROOF ON 3/4" PLYWD PBS
- 3 2 X 4 WD RAKE OUTLOOKERS @ 16" OC
- 4 1 X 6 PTD FASCIA W/ WM 287 RAKE MOULD ON 2 X 4 W/ 1/2" SMOOTH PLYWD SOFFIT
- 5 WM 287 RAKE ON 1 X 4 FRIEZE
- 6 HARDI PLANK SIDING PBS
- 7 1/2" X 6 CORNICE BD, PTD W/ WHI ALUM DRIP CAP FLASH ABV
- 8 BED MOULD BELOW 1 X 2 (?) ON 1 X 8 BEAM WRAP
- 9 AZEK COLUMN CAP, CUSTOM SHAPE TO SHED WATER
- 10 COLUMN TOP ANCHORED W/ SOLID WD BLK CUT TO FIT INSIDE SQ COL W/ 3/4" DIA LAG SCREWS AS SHOWN
- 11 HB&G "CRAFTSMAN" PERMACAST SQUARE TAPERED COLUMN 16" X 16" X 58" 46350, W/ CAP AND BASE W/ LOAD CAP OF 14,000#
- 12 PT SOLID WD BLK CUT TO FIT INSIDE COLUMN W/ 3/4" DIA LAGSCREWS AND 3/8" DIA X 8" J-BOLTS GROUTED SOLID IN 12 CMU BLK
- 13 24" SQ X 2" THICK SMOOTH PA FLAGSTONE PIER CAP SET IN CONT MORTAR BED
- 14 12 CMU TO MAKE 12" SQ PIER. GROUT CELLS W/ REBAR
- 15 (2) #4 VERT
- 16 RANDOM 3"-5" DELAWARE RIVER STONE SET INTO CONT MORTAR BED
- 17 PROVIDE SLOPED FINAL GRADE/ DRAINAGE FROM ALL PIERS, POST AND FDN WALLS THROUGHOUT
- 18 12 CMU MAKE 24" SQ PIER, GROUT SOLID
- 19 MANUF. TO SUPPLY SHOP DWGS OR ENGR TO REVIEW
- 20 PIER FTG SIZE, 24" SQ X 12" D
- 21 TYP UNDISTURBED SOIL



1 FRONT PORCH PIER SECTION DETAIL  
3/4" = 1'-0"

PHASE	DATE	REVISIONS
REVIEW	2-16-06	
REVIEW	2-28-06	
PERM.T.D.	4-7-06	
TRADE D.	4-14-06	
PERMIT	6-19-06	

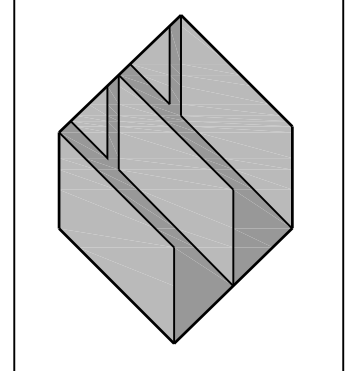
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**PROJECT TITLE**

**ROSE KOHN RESIDENCE**  
4718 CHEGAFAKE STREET N.W.  
WASHINGTON D.C. 20016

**BUILDER**

**MARK IV**  
A TRADITION OF FINE HOMEBUILDING AND REMODELING



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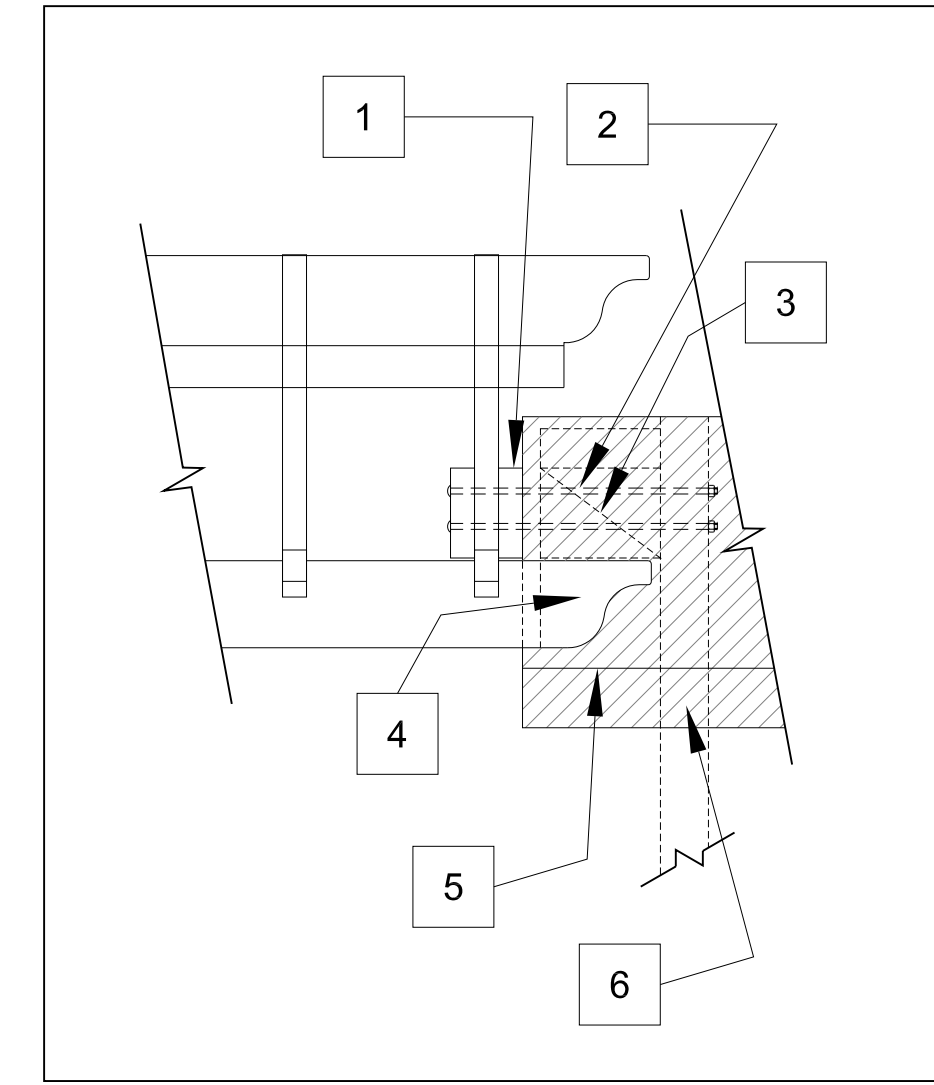
**PERGOLA AT EX'G ROOF DETAIL NOTES:**

**SEE STRUCTURAL NOTES**

TYP. NAIL : 16D COMMON GALVANIZED

TYP. CARRIDGE BOLT, WASHER & NUT:  
 1/2" Ø (GALVANIZED) CARRIDGE BOLT,  
 WASHER & NUT

- 2X8 COLLAR TIES
- 1/2" Ø " WALL-THREAD " INTO EX'G SOLID WALL FRAMING, PROVIDE SOLID BLOCKING AS NEEDED
- SOLID BLOCKING OR FRAMING UNDER EXISTING ROOF OVERHANG
- (3) 2X8 SIDE BEAMS W/ DECORATIVE END CUT TO BE ABOVE EXISTING ROOF
- EXISTING ROOF TO REMAIN & BE "UN-TOUCHED"
- EXISTING EXTERIOR WALL FRAMING

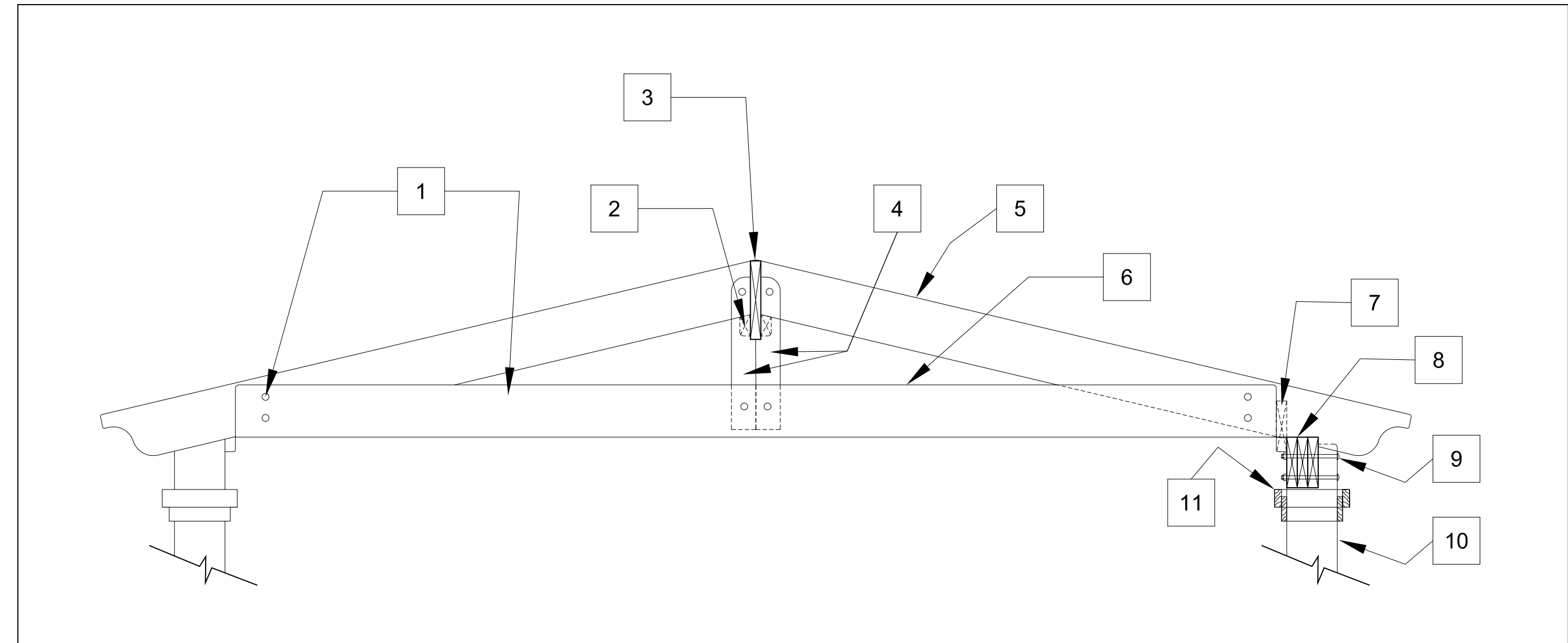


**2 PERGOLA AT EXISTING ROOF DETAIL**  
 3/4" = 1'-0"

**PERGOLA FRONT VIEW DETAIL NOTES:**

**SEE STRUCTURAL NOTES**

- (2) 2X8 COLLAR TIES FASTENED EACH END TO 2X8 RAFTER W/ (2) TYP CARR BOLTS
- 2X4 RIDGE BD CLEAT, CONT UNDER RAFTERS NAILED 16D COM GAL @ 8" OC
- 2X12 RIDGE BD W/ DECORATIVE ENDS
- DECORATIVE 2X4 VERT. POST W/ NOTCH FOR RIDGE BD FASTENED EACH END W/ TYP CARR BOLT
- 2X8 RAFTERS, SPACED EVENLY & NAILED @ RIDGE BD END W/ MIN (3) 16D COM GAL & NAILED @ SIDE BEAM END W/ MIN (3) 16D COM GAL- PRE DRILL TO PREVENT SPLITTING WOOD
- 2X8 COLLAR TIE
- 2X8 RAFTER TO BEAM CONT BLOCKING NAILED EA RAFTER & SIDE BEAM @ 12" OC W/ TYP NAIL
- (3) 2X8 SIDE BEAMS NAILED TOGETHER W/ 12D COM GAL NAILS @ 12" OC TOP & BOTTOM
- (2) 1/2" Ø CARR BOLT THRU 8X8 POST & SIDE BEAMS
- SOLID 8X8 POST W/ 4 1/2" X 8" ± SIDE BEAM NOTCH
- POST CAP TRIM TBD

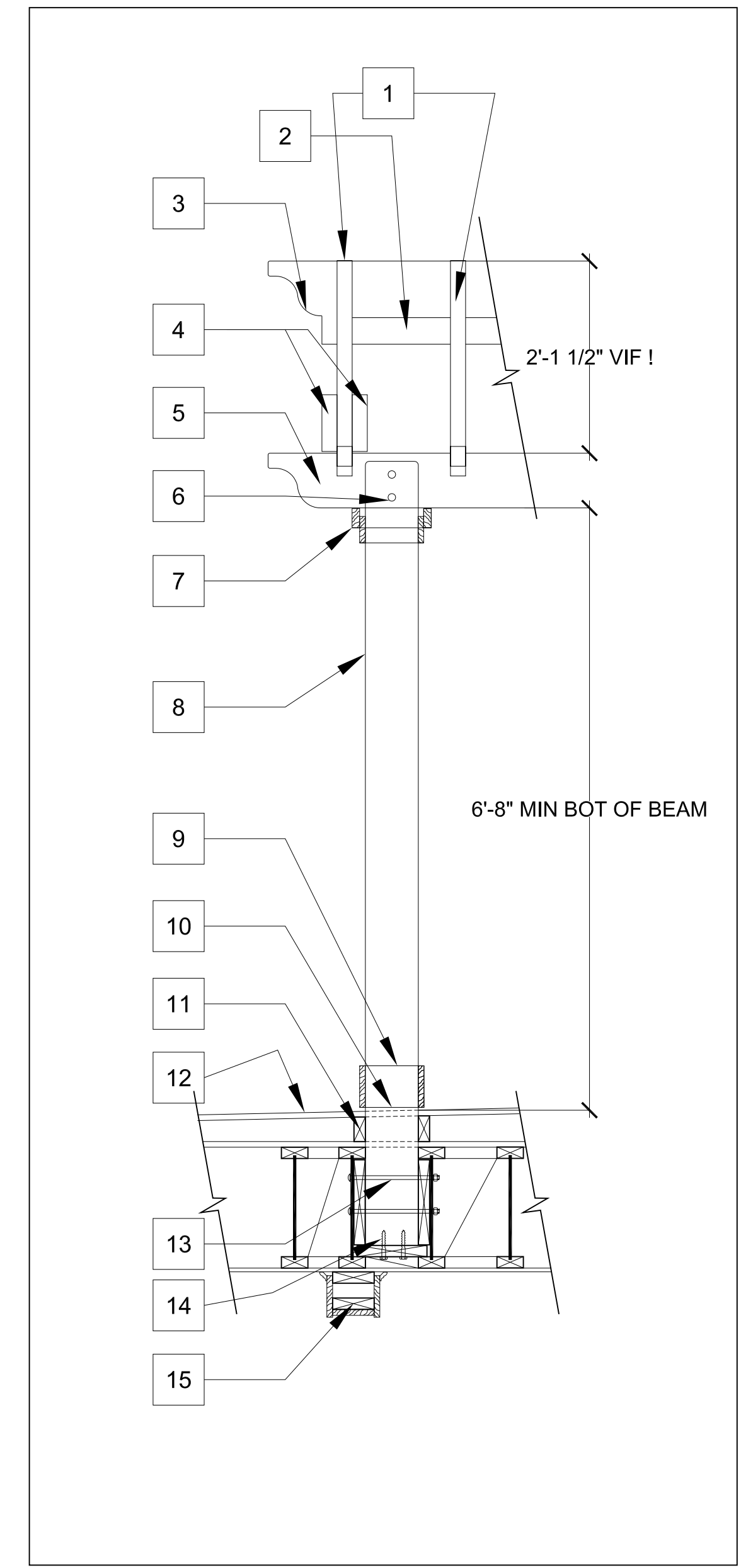


**3 PERGOLA FRONT VIEW DETAIL**  
 3/4" = 1'-0"

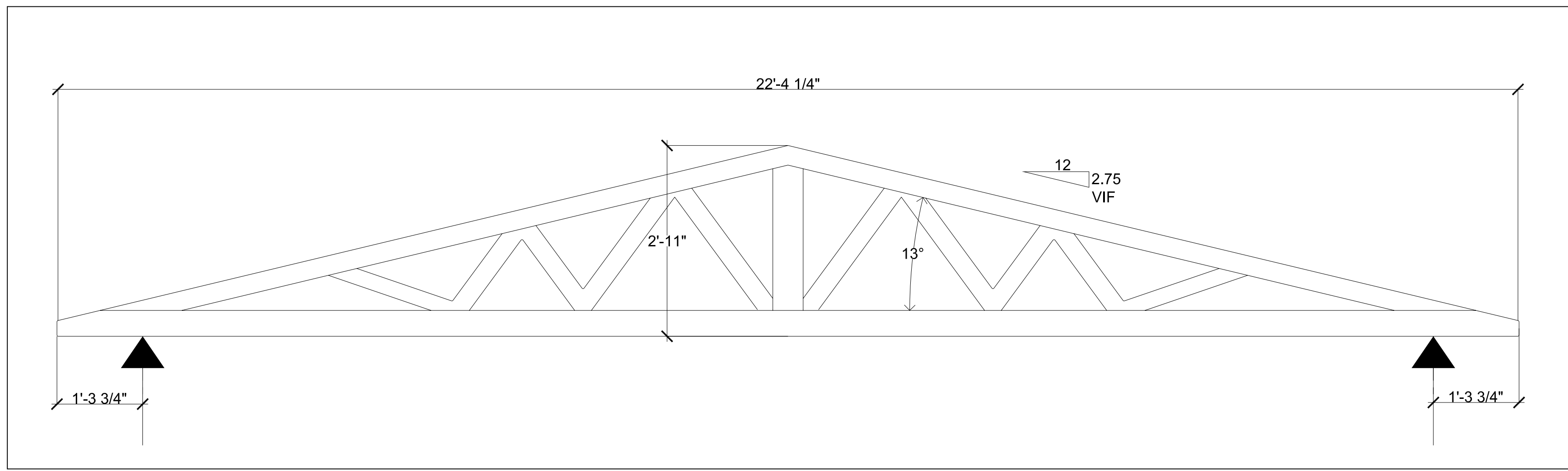
**PERGOLA POST SECTION DETAIL NOTES:**

**SEE STRUCTURAL NOTES**

- 2X8 RAFTER SPACED EVENLY- SEE FRAMING PLAN
- 2X4 RIDGE BD RAFTER CLEAT, CONT FROM FRONT RAFTER TO REAR RAFTER
- DECORATIVE RAFTER & BEAM DETAIL
- 2X8 COLLAR TIES
- (3) 2X8 SIDE BEAMS
- TYP. CARR BOLTS
- POST CAP TRIM TBD
- 8X8 SOLID WD POST
- POST BASE TRIM TBD
- POST BASE FLASHING, SEE DURADEK INSTRUCTIONS & DETAILS
- ROOF SLEEPER
- DURADEK ROOF
- (2) TYP CARR BOLTS THRU (2) I-JOIST & SOLID BLOCKING W/ BOTTOM BLOCKING & (2) 1/2" Ø X 4" LONG LAG SCREWS
- LAG SCREWS OR EQUAL
- 2X6 FRAME FOR TYP INT DECORATIVE BEAM



**1 PERGOLA POST SECTION DETAIL**  
 3/4" = 1'-0"



**6 FRONT PORCH TRUSS PROFILE**  
 NTS  
 BY ROOF TRUSS ENGINEER

SHEET NUMBER  
**A-7.2**  
 OF 15 TOTAL

SHEET TITLE  
**SECTION DETAILS**

SHEET SCALE  
 X=1'-0"  
 OR AS NOTED

PHASE	DATE
REVIEW	2-16-06
REVIEW	2-28-06
PRELIM'D.	4-7-06
TRADE D.	4-14-06
PERMIT	6-19-06

REVISIONS

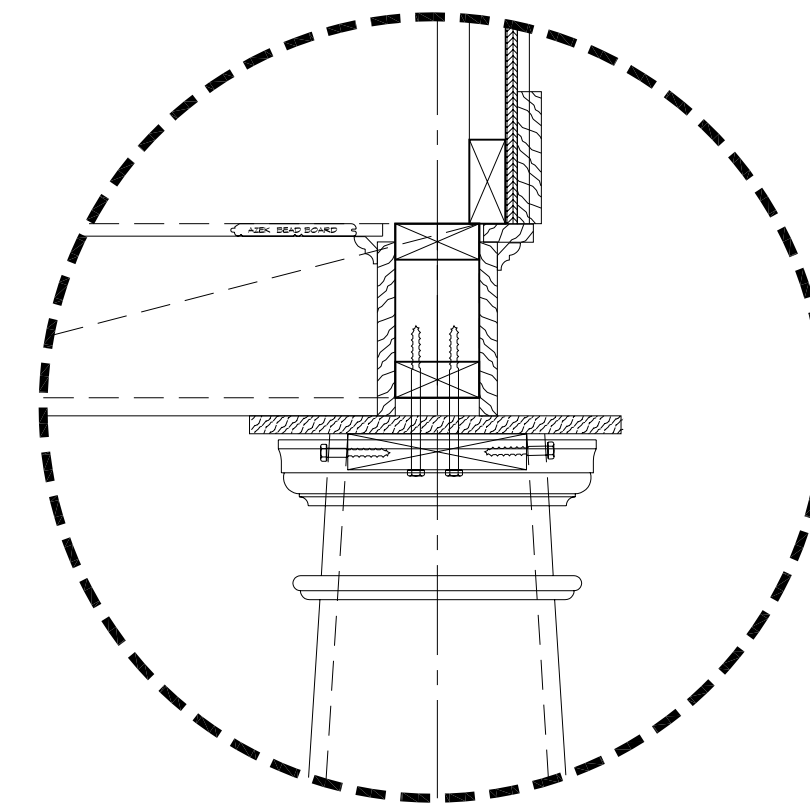
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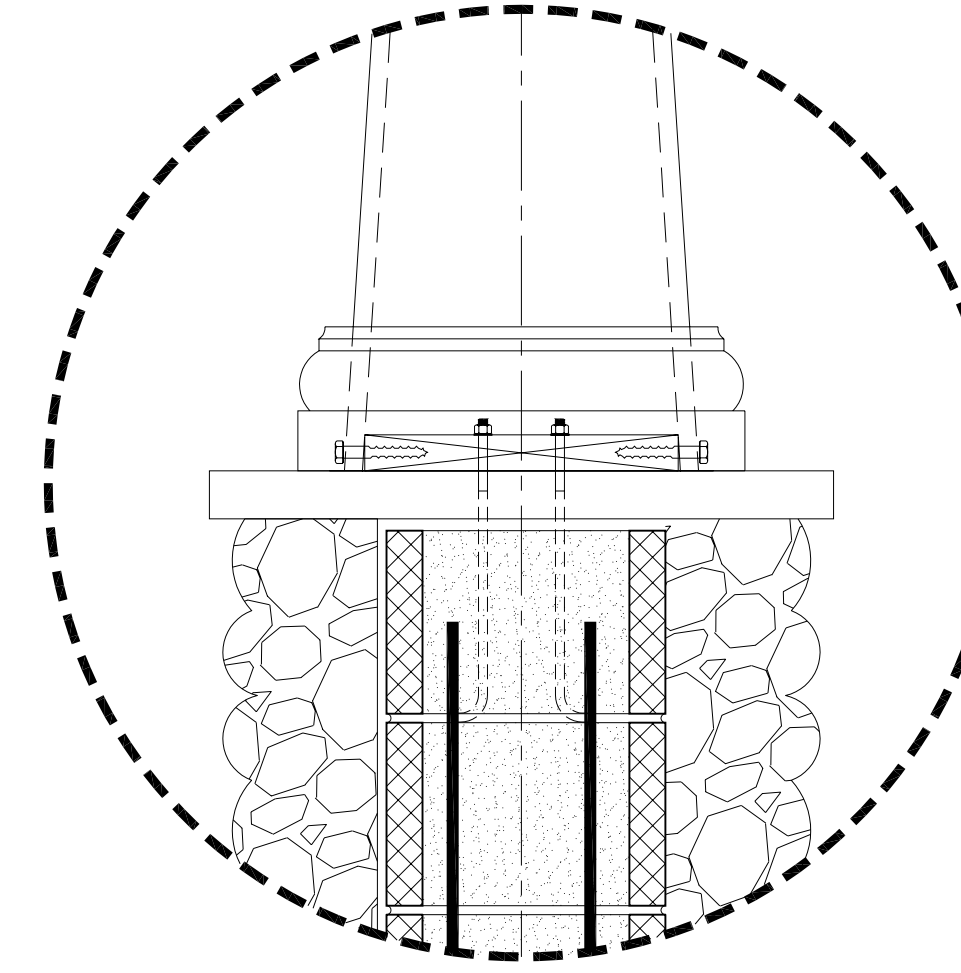
BUILDER  
**MARK IV**  
 A TRADITION OF FINE HOMEBUILDING AND REMODELING

P: 11-MARK IV ROSE-KOHN 2-DWG 4-PERMIT DETAILS 6-05.DWG August 23, 2006 11:44 AM

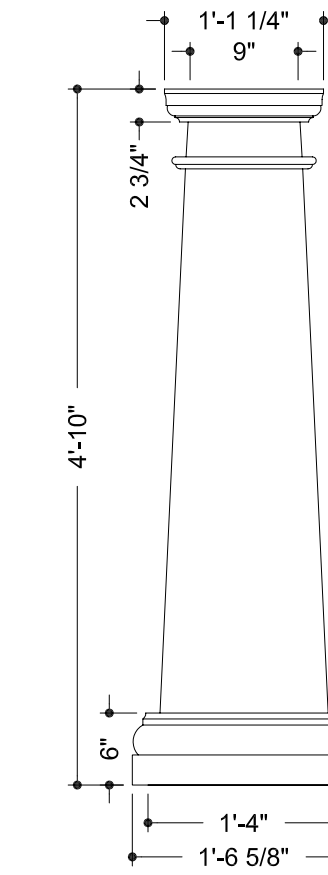
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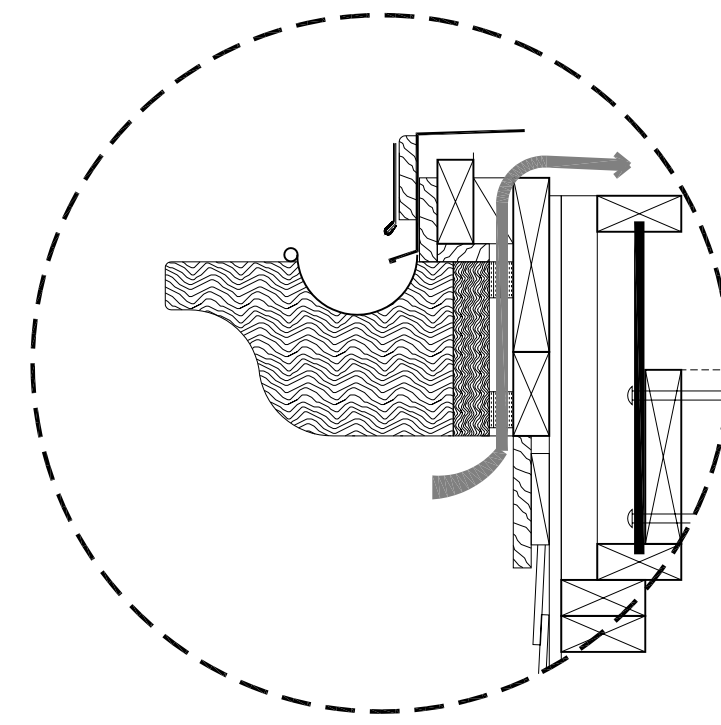
2 TOP OF PORCH COLUMN DETAIL  
NTS



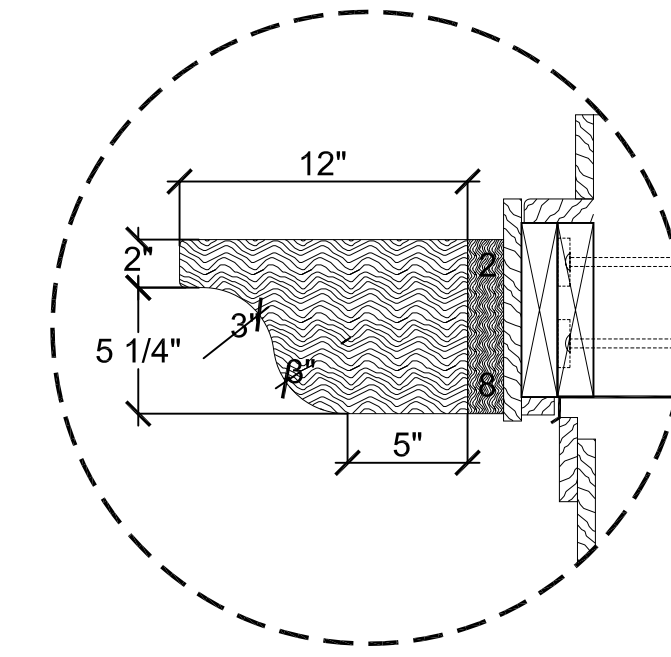
3 BOTTOM OF PORCH COLUMN DETAIL  
NTS



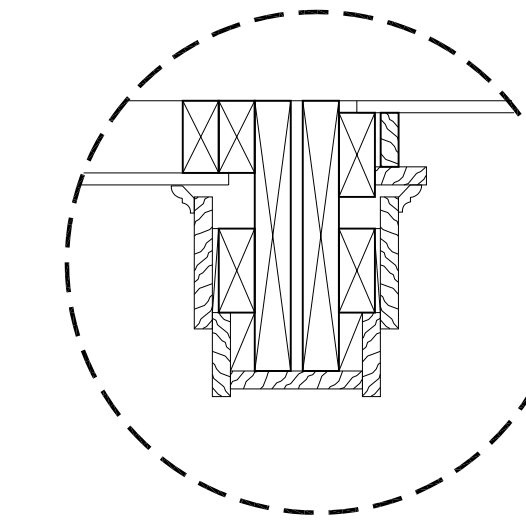
1 PORCH COLUMN DETAIL  
NTS



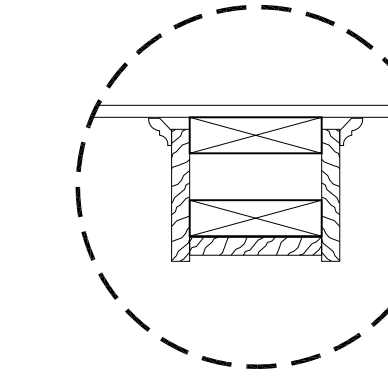
8 DECORATIVE RAFTER TAIL DETAIL  
NTS



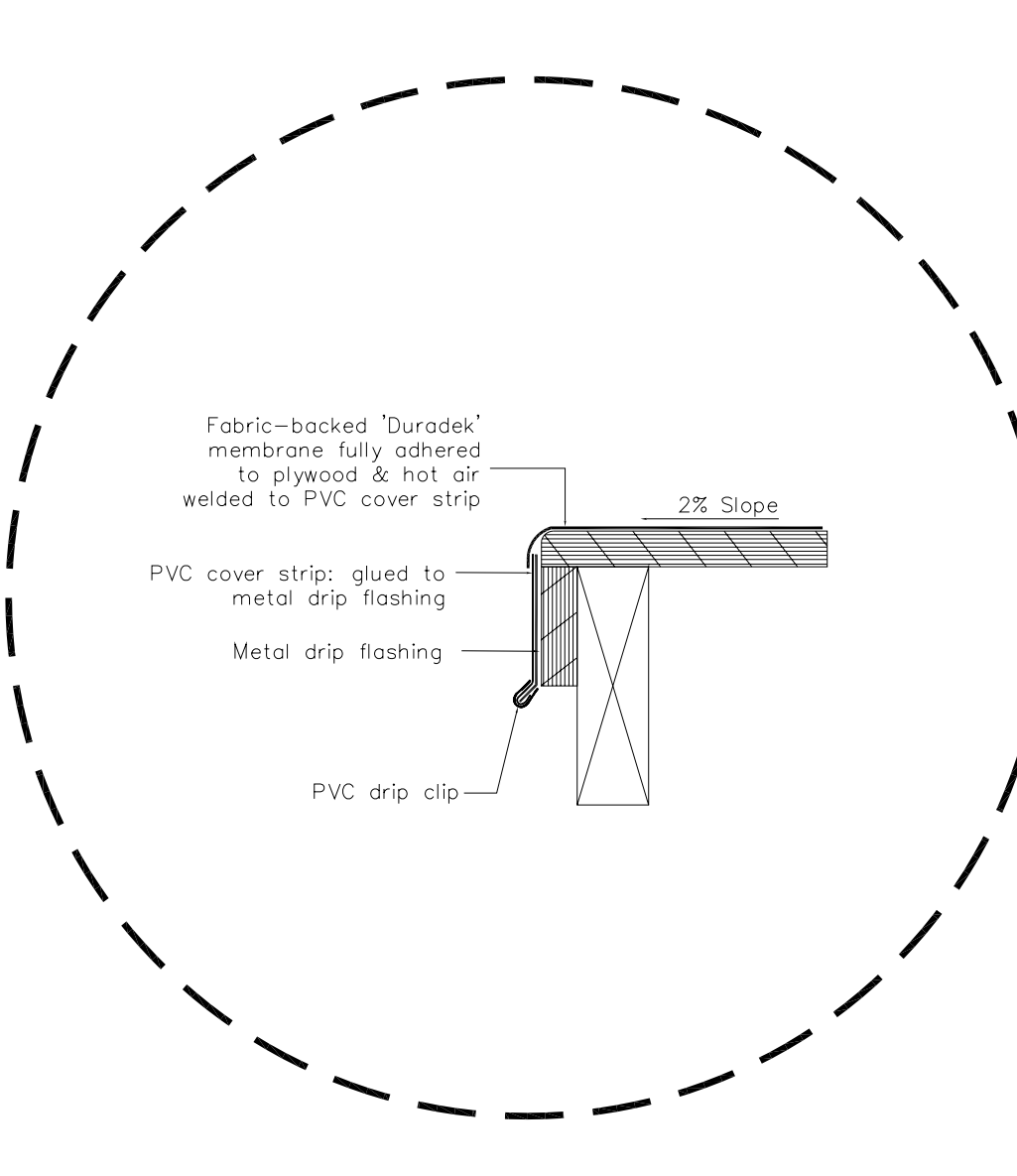
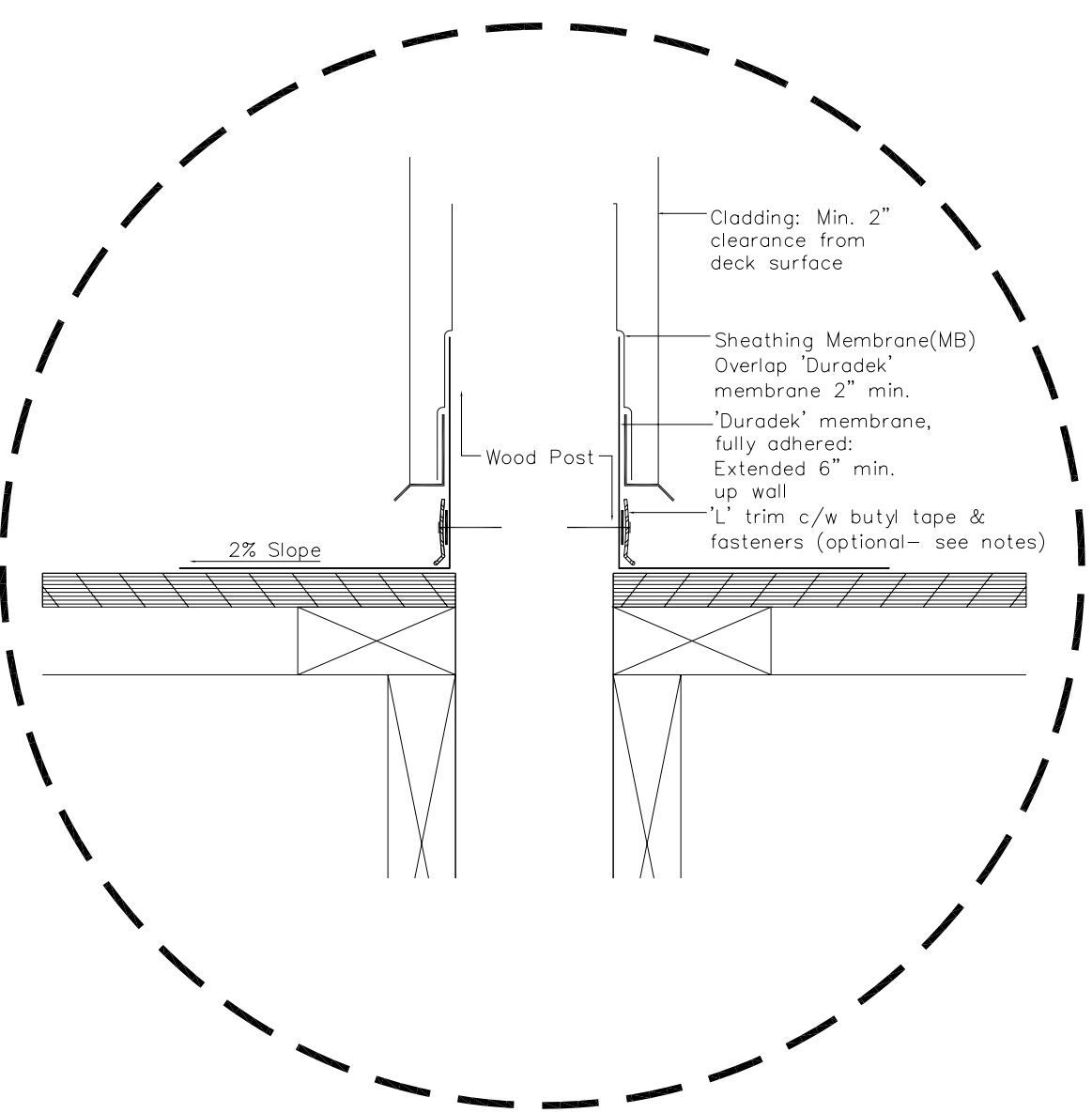
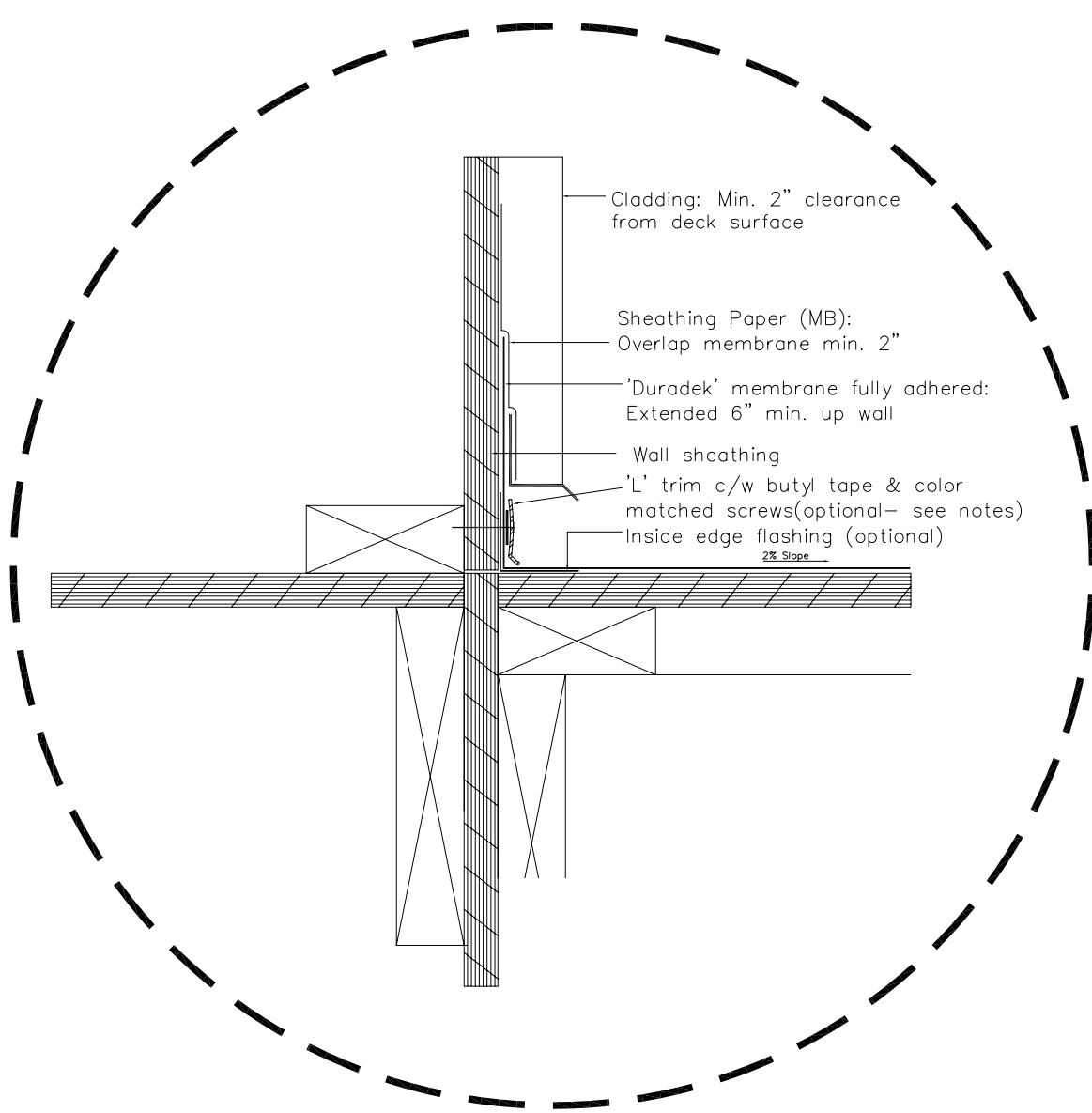
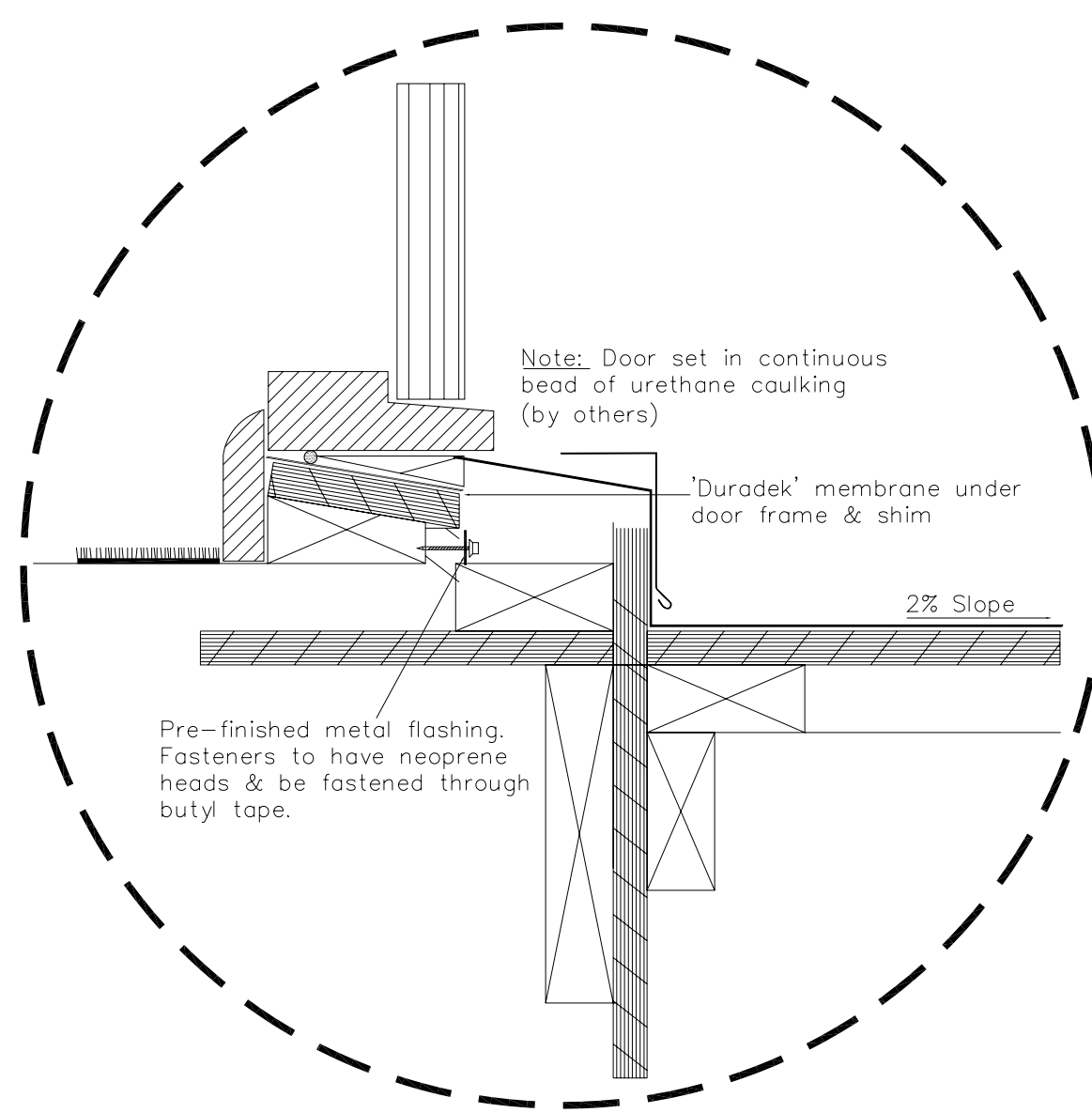
7 DECORATIVE RAFTER TAIL DETAIL  
NTS



6 KITCHEN CLG BEAM SECTION DETAIL  
NTS



5 DECORATIVE BEAM DETAIL  
NTS



NOTE: 'Duradek' 'L' trim fixation bar not required if: field of membrane adhered with 'Duradek' acrylic latex adhesive, July 25% dry bulb temperature does not exceed 29 deg C (84.2 deg F), maximum basic wind speed does not exceed 80 mph (129 km/h) or maximum basic wind speed (3-second gust) does not exceed 100 mph (161 km/h). See 'Duradek' bulletin for details.

4 DURADEK MANUFACTURER'S ROOF DETAILS  
NTS

SHEET NUMBER  
**A-7.8**  
OF 15 TOTAL

SHEET TITLE

SECTION  
DETAILS

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RESIDENCE**  
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BUILDER

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