

ABBREVIATIONS

ABV. ABOVE	ACT. ACTUAL	ADD. ADDITION	AFF. ABOVE FINISHED FLOOR	ADJ. ADJUSTABLE	A/C AIR CONDITIONING	AHU. AIR HANDLING UNIT	ALT. ALTERNATE	ALUM. ALUMINUM	AMT. AMOUNT	Z. ANGLE	APPD. APPROVED	AB. ANCHOR BOLT	A.P. ACCESS PANEL	APPROX. APPROXIMATE	A.D. AREA DRAIN	AUTO. AUTOMATIC	AVG. AVERAGE	@. AT	B. BASE	BSMT. BASEMENT	BA. BATH	BRM. BEDROOM	BM. BEAM	B.M. BENCH MARK	BEL. BELOW	BTW. BETWEEN	BRG. BEARING	BIT. BITUMENOUS	BEV. BEVEL	BLK. BLOCK	BLKG. BLOCKING	BD. BOARD	BDT. BOTTOM	B.S. BOTH SIDES	B.W. BOTH WAYS	BRKKT. BRACKET	BRK. BRICK	B.R.L. BUILDING RESTRICTION LINE	BLT-IN BUILT-IN	X. BY	B.L.D.G. BUILDING	BUR. BUILT UP ROOFING	CAB. CABINET	CALK. CALKING	CPT. CARPET	C.I. CAST IRON	CIR. CIRCLE	CHK. CHECK	CL.G. CEILING	CEM. CEMENT	CTR. CENTER	C/C CENTER TO CENTER	C. CERAMIC TILE	COMB. COMBINATION	COM. COMMON	COMP. COMPOSITION	CO. CLEAN OUT	CLR. CLEARANCE	C.L.O. CLOSET	COL. COLUMN	CONC. CONCRETE	C.M.U. CONCRETE MASONRY UNIT	CONST. CONSTRUCTION	CONT. CONTINUE (D) (OUS)	CONTR. CONTRACTOR	C.J.T. CONTROL JOINT	CRS. COURSES	C.U.F.T. CUBIC FEET	CU.YD. CUBIC YARD	CL. CENTER LINE	DP. DAMPROOFING	DK. DECKING	D.L. DEAD LOAD	DET. DETAIL	DIAG. DIAGONAL	DIA. DIAMETER	DM. DIMENSION	DISPOS. DISPOSAL	DITTO DITTO	DH. DOUBLE HUNG	DN. DOWN	DW. DOWNSHOWER	DIV. DIVISION	DR. DOOR	D.W. DRYWALL	DBL. DOUBLE	DSN. DESIGN	D.S. DOWN SPOUT	D. DRAIN	DWG. DRAWING	DRY. DRYER	EA. EACH	E.F. EACH FACE	E.W. EACH WAY	E. EAST	EL. ELBOW	ELEC. ELECTRICAL	ELEV. ELEVATION	EMER. EMERGENCY	ENCL. ENCLOSURE	ENG. ENGINEERING	ENGR. ENGINEER (STRUCTURAL)	ENT. ENTRANCE	EST. ESTIMATE	ESTB. ESTABLISHED	EQ. EQUAL	EQUIP. EQUIPMENT	ETC. ETCETERA	EXG. EXIST (ING)	EXIST. EXIST (ING)	EXISTG. EXISTING	EXP. EXPANSION	EX. EXPOSED	EXC. EXCAVATE	EXT. EXTERIOR	EXTN. EXTENSION	E.F. EXHAUST FAN	EXP. JT. EXPANSION JOINT	F.B. FACE BRICK	F.O.S. FACE OF STUD	FT. (1) FEET OR FOOT	FN. FINISH	FN.FL. FINISHED FLOOR	FN.GRD. FINISHED GRADE	FN.OPG. FINISHED OPENING	FBK. FIRE BRICK	FP. FIRE PROOF	F.P. FIREPLACE	FBGL. FIBERGLASS	F.R. FIRE RATED	FRT. FUTURE	FL. FLOOR	FLR. FLOOR	FL.JST. FLOOR JOIST	F.D. FLOOR DRAIN	FLOUR. FLOUORESCENT	FTG. FOOTING	FDN. FOUNDATION	FRMD. FRAMING	FUR. FURRING AS NEEDED	G. GAS	GA. GAUSE	GALV. GALVANIZED	GAL. GALLON	GAR. GARAGE	GRD. GIRDER	GL. GLASS	GLAZ. GLAZE	GRD. GRADE (EARTH)	GRBM. GRADE BEAM	GR. GRILL	GND. GROUND	GFCI GROUND FAULT CIRCUIT INTER.	GVL. GRAVEL	GYP. GYPSUM	G.W.B. GYPSUM WALL BOARD	H.C. HOLLOW CORE	HDB. HARDBOARD	HDWR. HARDWARE	HWDD. HARDWOOD	H.V.A.C. HEAT VENTILATION AIR COND.	HDR. HEADER	HT. HEIGHT	H.V. HEAVY	H.B. HOES BIBB	H.W.H. HOT WATER HEATER	HTR. HEATER	HR. HOUR	I. IRON	INCAN. INCANDESCENT	INT. INTERNATIONAL RESIDENTIAL CODES	IN. (1) INCH	INCL. INCLUDE	INSP. INSPECTION	INST. INSTALL	LD. INSIDE DIAMETER	INSUL. INSULATION	INT. INTERIOR	INV. INVERT	IPMI. INSTALL PER MANUFACTURERS INSTRUCTIONS	IPIS. INSTALL PER INDUSTRY STANDARDS	IPOL. INSTALL PER OWNERS INSTRUCTIONS	IPSER. INSTALL PER STRUCTURAL ENGINEERS INSTRUCTIONS	JMB. JAMB	JT. JOINT	JST. JOIST	JCT. JOINT	JUN. JUNCTION	J.R.OX. JUNCTION BOX	K. KIP	K.D. KILN DRIED	K. KITCHEN	K.D. KNOCK DOWN	K.O. KNOCK OUT	L.A.M. LAMINATE	L.A.U. LAUNDRY	L.A.V. LAVATORY	L. LENGTH	L.G. LONG	LEV. LEVEL	L.T. LIGHT	L.F. LINEAR FOOT	L.C.L. LINE LOAD	L.L. LIVE LOAD	L.V. COVER	LIB. LIBRARY	LDG. LANDING	LIN. LINEAR	LINO. LINOLEUM	L.R. LIVING ROOM	LUM. LUMBER	L.V. LOW VOLTAGE	L.B. POUND	L.L.H. LONG LEG HORIZONTAL	L.L.V. LONG LEG VERTICAL	M. METER	M. MILE	M.A.H. MAHOAGANY WOOD	M.F. MANUFACTURER	M.A.NUF. MANUFACTURER	M.R.B. MARBLE	M.C. MEDICINE CABINET	M.A.S. MASONRY	M.O. MASONRY OPENING	M.A.T.L. MATERIAL	M.A.X. MAXIMUM	M.E.D. MEDIUM	M.E.C.H. MECHANICAL	M.E.M.B. MEMBRANE	M.T.L. METAL	M.E.Z.Z. MEZZANINE	M.I.N. MINIMUM	M.I.D.G. MOLDING	M.I.S.C. MISCELLANEOUS	M.T.D. MOUNTED	M.O.U.N.T.I.N.G. MOUNTING	M.I.R.R. MIRROR	M.U.L.L.I.O.N. MULLION	N.A.T. NATURAL	N.O.M. NOMINAL	N. NORTH	N.A. NOT APPLICABLE	N.D. (1) NUMBER	N.I.C. NOT IN CONTRACT	N.T.S. NOT TO SCALE	OFF. OFFICE	O.C. (O.C) ON CENTER	O.P.G. OPENING	O.P.S.I.T.E. OPPOSITE	O.A. OVERALL	O.Z. OUNCE	O.D. OUTSIDE DIAMETER	O.F. OUTSIDE FACE	O.V.H.E.A.D. OVERHEAD	O.P.C.I. OWNER PROVIDED CONTRACTOR INSTALLED	P.T.D. PAINTED	P.C. PULL CHAIN	P.B.S. PER BUILDERS SPECS	P.R. PAIR	P.N.L. PANEL	P.A.R.K.E.L.L.E.D. PARALLEL	P.E.R. PER	P.E.R.M.E.T. PERMETER	P.E.R.M. PERMANENT	P.E.R.P. PERPENDICULAR	P.A.R.T.I.T.I.O.N. PARTITION	P.A.V.E.M.E.N.T. PAVEMENT	P.L.A.S.T.E.R. PLASTER	P.L. PLATE	P.L.M.B. PLUMBING	P.L.Y.W.O.O.D. PLYWOOD	P.L.Y. PLYWOOD	P.O.L.Y. POLYETHYLENE	P.L.A.S.T.I.C. PLASTIC	P.L.A.M. PLASTIC LAMINATE	P.R.E.L.I.M. PRELIMINARY	P.T. "PRESSURE TREATED" LUMBER	P.T.D. PAINTED	P.V.C. POLYVINYL CHLORIDE	P.C. PORTLAND CEMENT	P.F.S. POUNDS PER SQUARE FOOT	P.S.I. POUNDS PER SQUARE INCH	P.R.O.P. PROPERTY	Q.T.Y. QUANTITY	R. RADIUS	R.A.D. RADIUS	R. RISER	R.F. ROOF	R.O.U.G.H. ROUGH	R.O.U.N.D. ROUND	R.E.C.P. RECEPTACLE	R.E.C. RECESSED	R.E.I.N.F. REINFORCING	R.E.B.A.R. REINFORCING BAR	R.E.F.R.I.G.E.R.A.T.O.R. REFRIGERATOR	R.E.G. REGISTER	R.E.T. RETURN	R.E.O.D. REQUIRED (ING)	R.D.G. RIDGE	R.E.V. REVERSED	R.F.M. ROOM	R.O.D. ROUGH OPENING	R.U.B. RUBBER	R.SCN. SCREEN	S.C.H.E.D. SCHEDULE	S.D.G. SIDING	S.E.C.T. SECTION	S.F. SQUARE FEET	S.H.T. SHEET	S.H.T.G. SHEATHING	S.H. SHOWER	S.H. SINGLE HUNG	S.H. SIMILAR	S.L. SLIDING	S.C. SOLID CORE	S. SOUTH	S. SOUTHERN PINE-FIR	S.P.F. SPRUCE-PINE-FIR	S.P.E.C. SPECIFICATIONS	S.Q. SQUARE	S.Q.F.T. SQUARE FEET	S.Q.I.N. SQUARE INCH	S.S. STAINLESS STEEL	STK. STOCK	STD. STANDARD	STL. STEEL	STO. STORAGE	STR. STRUCTURAL	SUB. SUBSTITUTE	SUP. SUPPLY	SUR. SURFACE	SW. SWITCH	S.Y.M. SYMMETRICAL	S.Y.S. SYSTEM	T. TREAD	T.H.R.M. THERMOSTAT	THRU. THROUGH	T.O.I.L. TOILET	T.E.L. TELEPHONE
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DISTRICT OF COLUMBIA

WALL LEGEND		GENERAL NOTES	
EXISTING BRICK WALL TO REMAIN:		DIMENSIONS SHOWN FOR:	1. EXISTING CONDITIONS ARE TO THE FACE OF EXISTING FINISHES - UNO.
NEW CMU WALL:		2. NEW WORK CONDITIONS ARE TO THE FACE OF ROUGH SURFACES - UNO.	ALL ADJUSTMENTS MUST BE APPROVED BY THE OWNERS.
EXISTING CMU & WD FRAME WALLS TO REMAIN:		ACTUAL DIMENSIONS MUST BE FIELD VERIFIED AND ADJUSTED AS NEEDED. OVER ALL INFORMATION SHOWN IN THIS DRAWING SET.	THE BUILDER'S WRITTEN CONTRACT SPECIFICATIONS HAVE PRECEDENCE OVER ALL INFORMATION SHOWN IN THIS DRAWING SET.
NEW TYPICAL EXTERIOR WALL:		WRITTEN DIMENSIONS IN THE DRAWINGS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS!	VF = BUILDER TO "VERIFY IN THE FIELD" AND ADJUST DIMENSIONS. MATERIALS OR CONSTRUCTION TECHNIQUES TO INSURE THE INTEGRITY OF THE DESIGNER'S INTENT
NEW TYPICAL INTERIOR WALL:		CLWO = "CONFIRM LOCATION WITH OWNERS" PRIOR TO ROUGH-IN OR INSTALLATION	BULDER NOTES: BUILDER MUST UNDERSTAND & ACCEPT WHAT "VF" MEANS. ASK THE DESIGNER FOR ALL CLARIFICATIONS PRIOR TO PERFORMING ANY WORK. A "PRECONSTRUCTION DRAWING REVIEW" MEETING IS SUGGESTED.

BUILDING CODES AND STANDARDS	DRAWING SYMBOLS
BUILDING CODE - IRC INTERNATIONAL RESIDENTIAL CODE / 2003 WITH AMENDMENTS	REFERENCE NOTE: GENERAL INFORMATION
ENERGY AND MECHANICAL CODE - MBRCC MARYLAND BUILDING REHABILITATION CODE	REFERENCE NOTE: DEMOLITION INFORMATION
ELECTRICAL CODE - NATIONAL ELECTRIC CODE / 1996	REFERENCE NOTE: CRITICAL INFORMATION-CRITICAL DIMENSION, ALIGNMENT, HEIGHT OR OTHER ITEM TO CHECK CAREFULLY IN THE FIELD.
PLUMBING AND GAS CODE - WSSC PLUMBING CODE	WINDOW TAG
DOOR TAG	REVISION TAG

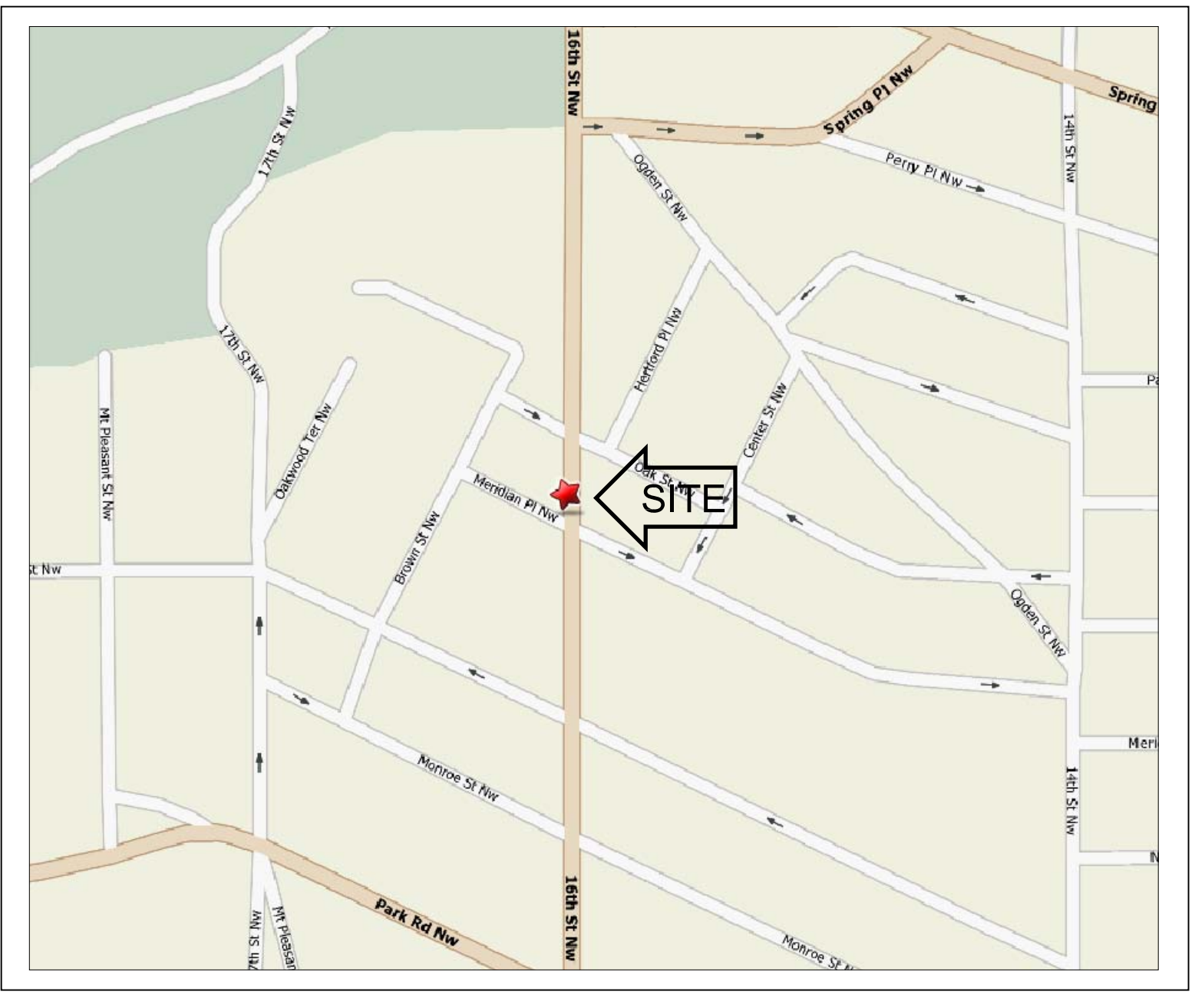
RESIDENTIAL DESIGN PARAMETERS	
GROUND SNOW LOAD - 30 PSF	WIND SPEED - 90 MPH
SEISMIC DESIGN CATEGORY - B	ELECTRICAL DESIGN CATEGORY - B
PLUMBING AND GAS CODE - WSSC PLUMBING CODE	FROST LINE DEPTH - 24 IN
TERMITES - MODERATE TO HEAVY	DECAY - SLIGHT TO MODERATE
WINTER DESIGN TEMP - 13°	ICE SHIELD UNDERLAYMENT - YES
AIR FLOODING INDEX - 300	MEAN ANNUAL TEMP - 55
DESIGN LIVE LOAD VALUES:	
ATTICS	20 PSF
DWELLING	40 PSF
SLEEPING ROOMS	30 PSF
EXTERIOR BALCONIES	60 PSF
GARAGE	50 PSF
DECKS	40 PSF
STAIRS	40 PSF

ALFANO RESIDENCE

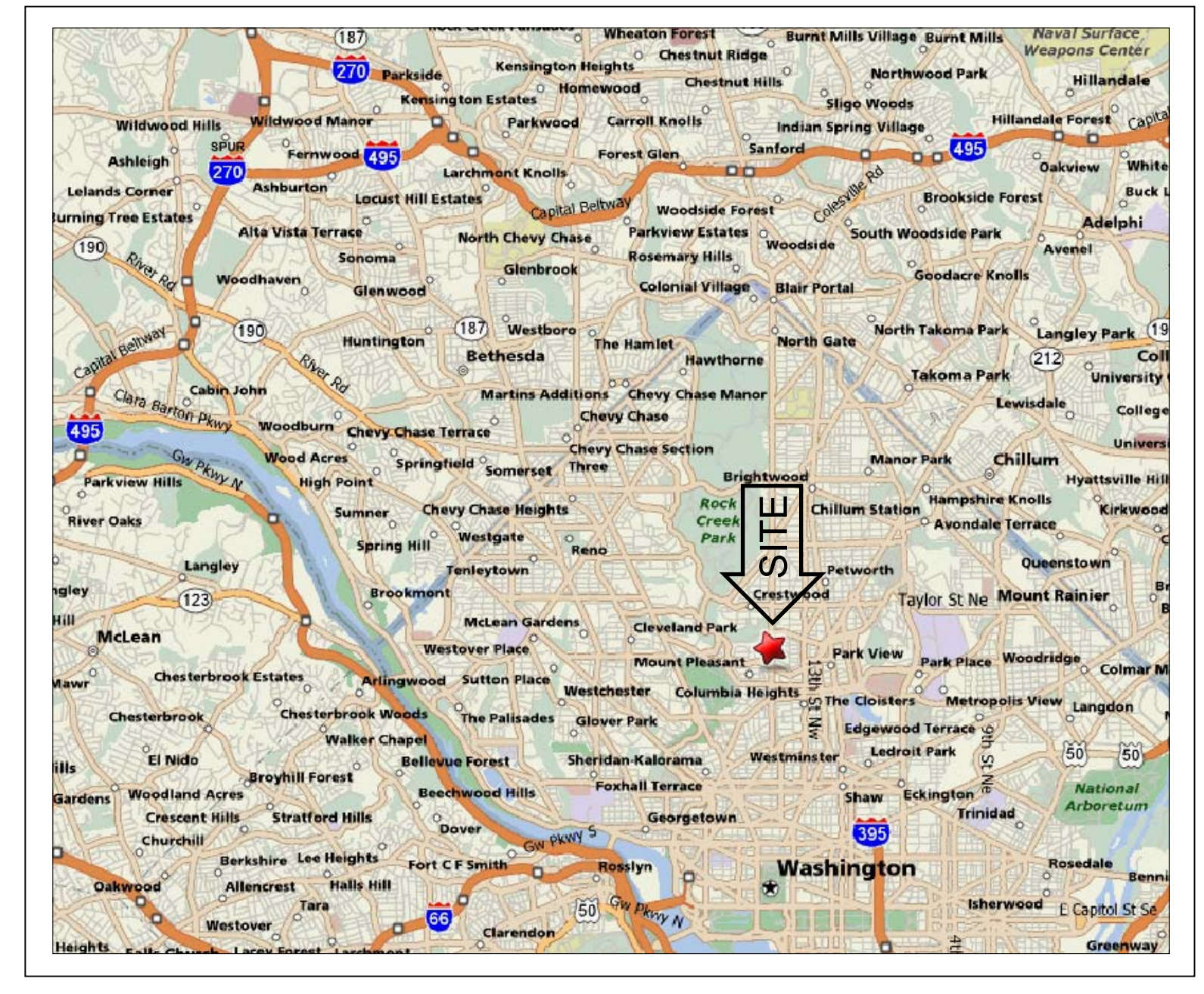
3537 16TH STREET NW WASHINGTON, DC 20010-3041

INTERIOR REMODELING ONLY

DRAWING CONTENTS - PERMIT DRAWINGS	
G-1.0	PROJECT INFO, DWG. CONTENTS, ABBREVIATIONS, SITE PLAN, STREET & VICINITY MAP
A-1.0	FLOOR AND DEMO PLANS
A-2.0	FOUNDATION AND FRAMING PLANS
A-3.0	ELECTRICAL PLANS, ROOF AND CEILING PLANS
A-4.0	REAR ELEVATION AND BUILDING SECTIONS
A-5.0	WALL SECTION DETAILS AND PLUMBING RISER DIAGRAMS



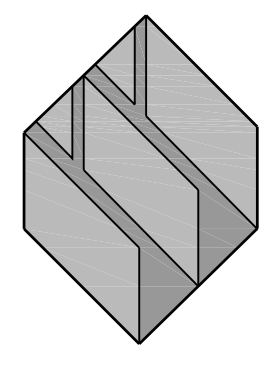
2 STREET MAP
NTS



3 VICINITY MAP
NTS

THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.

SHEET NUMBER G-1.0	
OF 6 TOTAL	
SHEET TITLE COVER SHEET GENERAL INFORMATION	
SHEET SCALE 1/8" = 1'-0" OR AS NOTED	
PHASE	DATE
REVIEW	9-25-06
REVIEW	9-15-06
PRELIM. D.	10-25-06
TRADE D.	11-14-06
PERMIT	12-19-06
PROJECT TITLE SALVATORE AND ELANE ALFANO RESIDENCE 3537 16TH ST NW WASHINGTON, DC 20010-3041	
BUILDER MARK IV A TRADITION OF FINE HOMEBUILDING AND REMODELING	



P:\11-MRK IV\ALFANO\2-DWG\1-14-06.dwg December 27, 2006 -09:37 AM

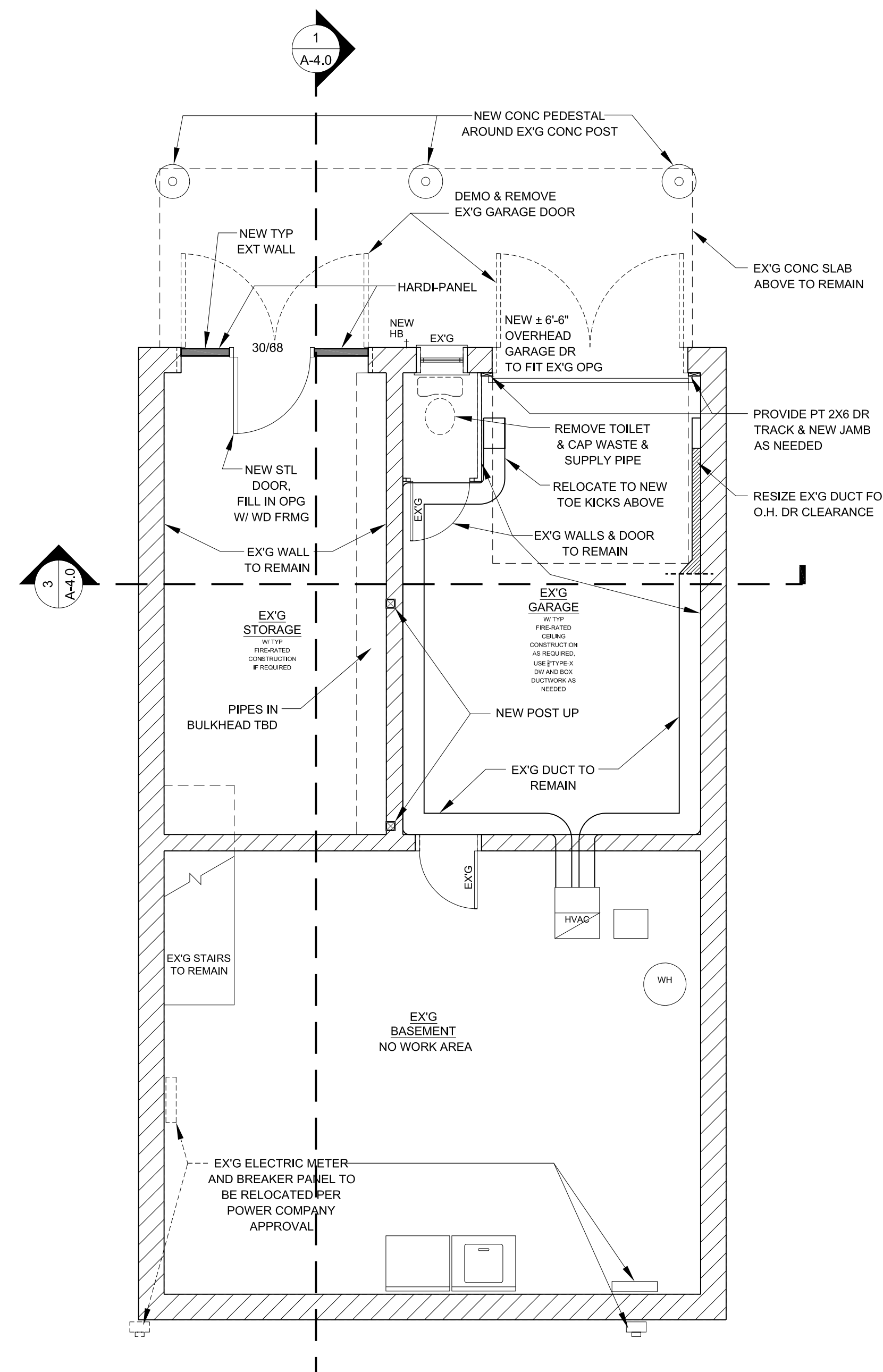
PHASE	DATE	REVISIONS
REVIEW	8-25-06	
REVIEW	9-15-06	
REVIEW	10-25-06	
TRADE D	11-14-06	
PERMIT	12-19-06	

ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE. ALL TRADES FIELD FOR ALL PERTINENT INFORMATION. CONFLICTS SHALL BE RESOLVED BY THE ARCHITECT AND THE PROJECT OWNER. INCORPORATE PROPERTY RECORDS AND SURVEY DATA INTO THE EXISTING PERIMETER OF WORK. DO NOT SCALE DRAWINGS.

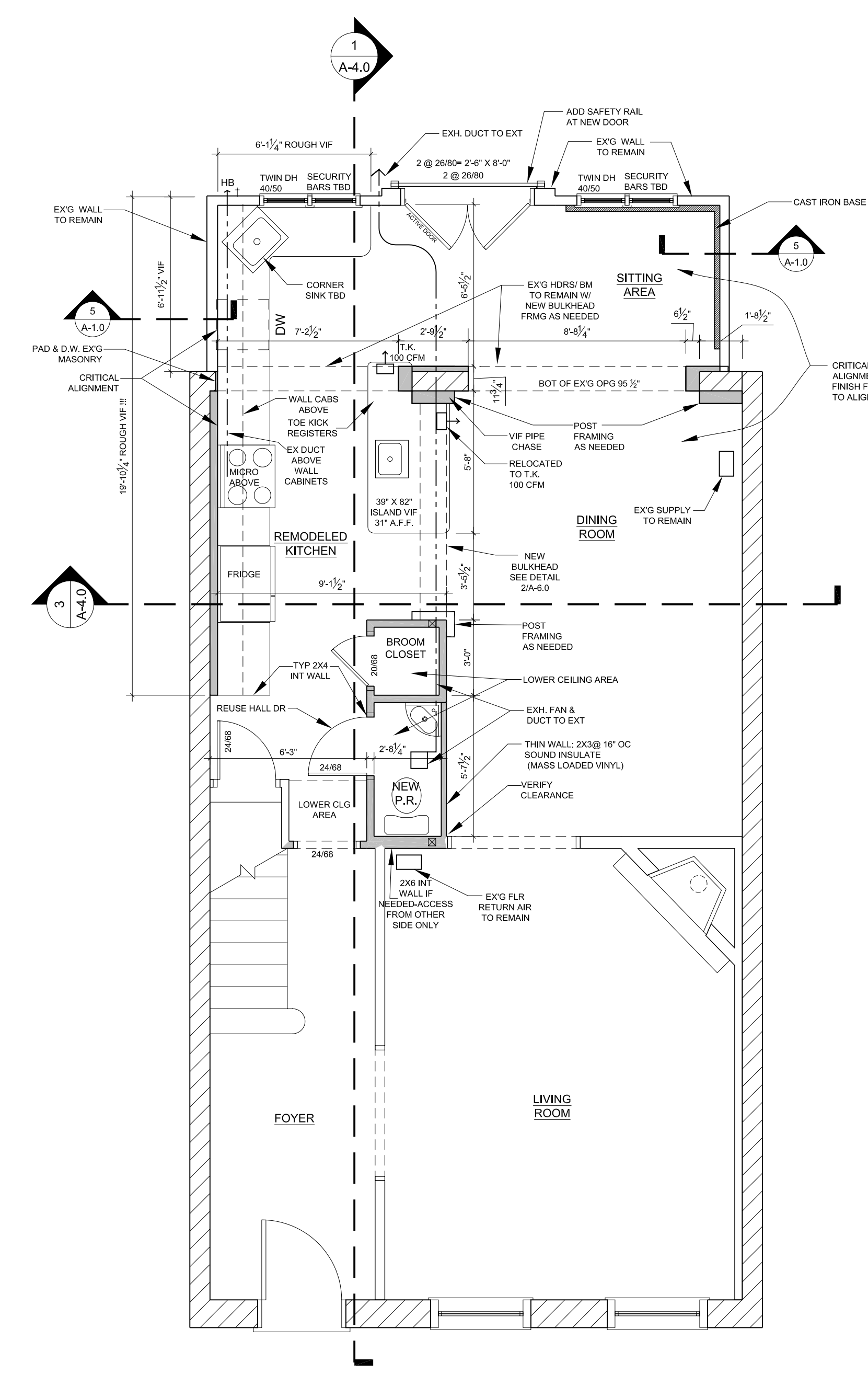
PROJECT TITLE
SALVATORE AND ELAINE ALFANO RESIDENCE
5551 16TH ST NW
WASHINGTON, DC 20010-3041

BUILDER

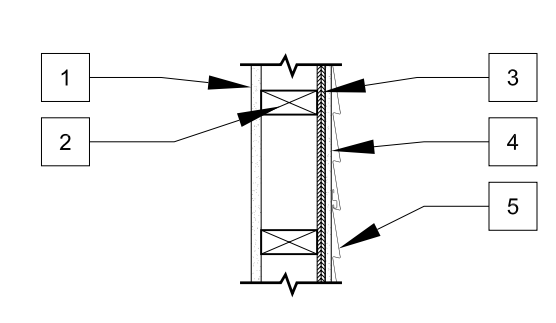
MARK IV
A TRADITION OF FINE HOMEBUILDING AND REMODELING



1 NEW BASEMENT FLOOR PLAN
1/4" = 1'-0"

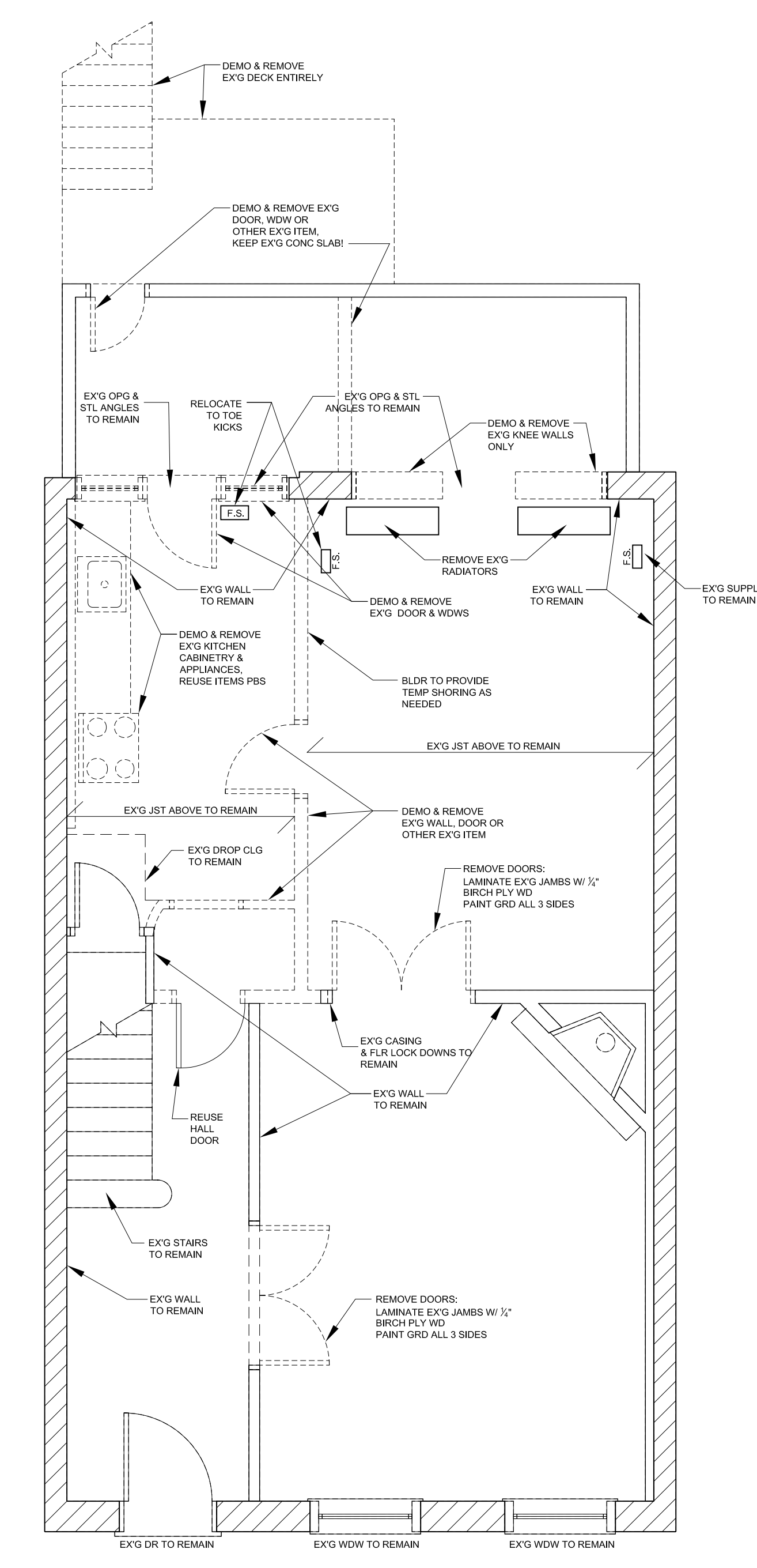


2 NEW FIRST FLOOR PLAN
1/4" = 1'-0"

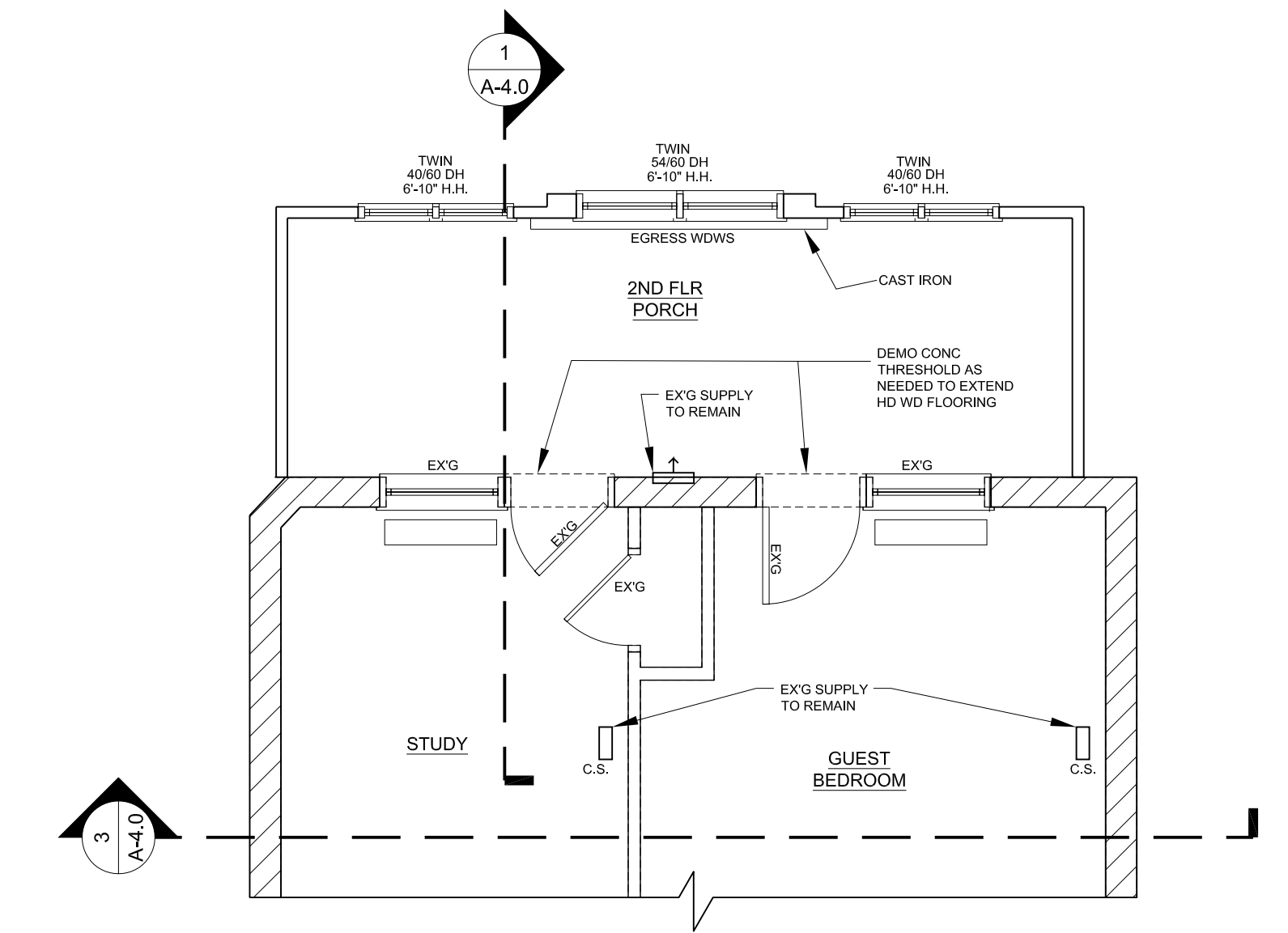


5 WALL SECTION DETAIL
1" = 1'-0"

- DETAIL #5 NOTES:**
- ALL FIRST & SECOND FLR SIDE WALLS
- 1 5/8" TYPE-X DRYWALL INT SIDE
 - 2 EXISTING WALL STUD
 - 3 3/4" OSB SHEATHING
 - 4 HARDI BACKER CEMENT BD EXT SIDE
 - 5 VINYL SIDING

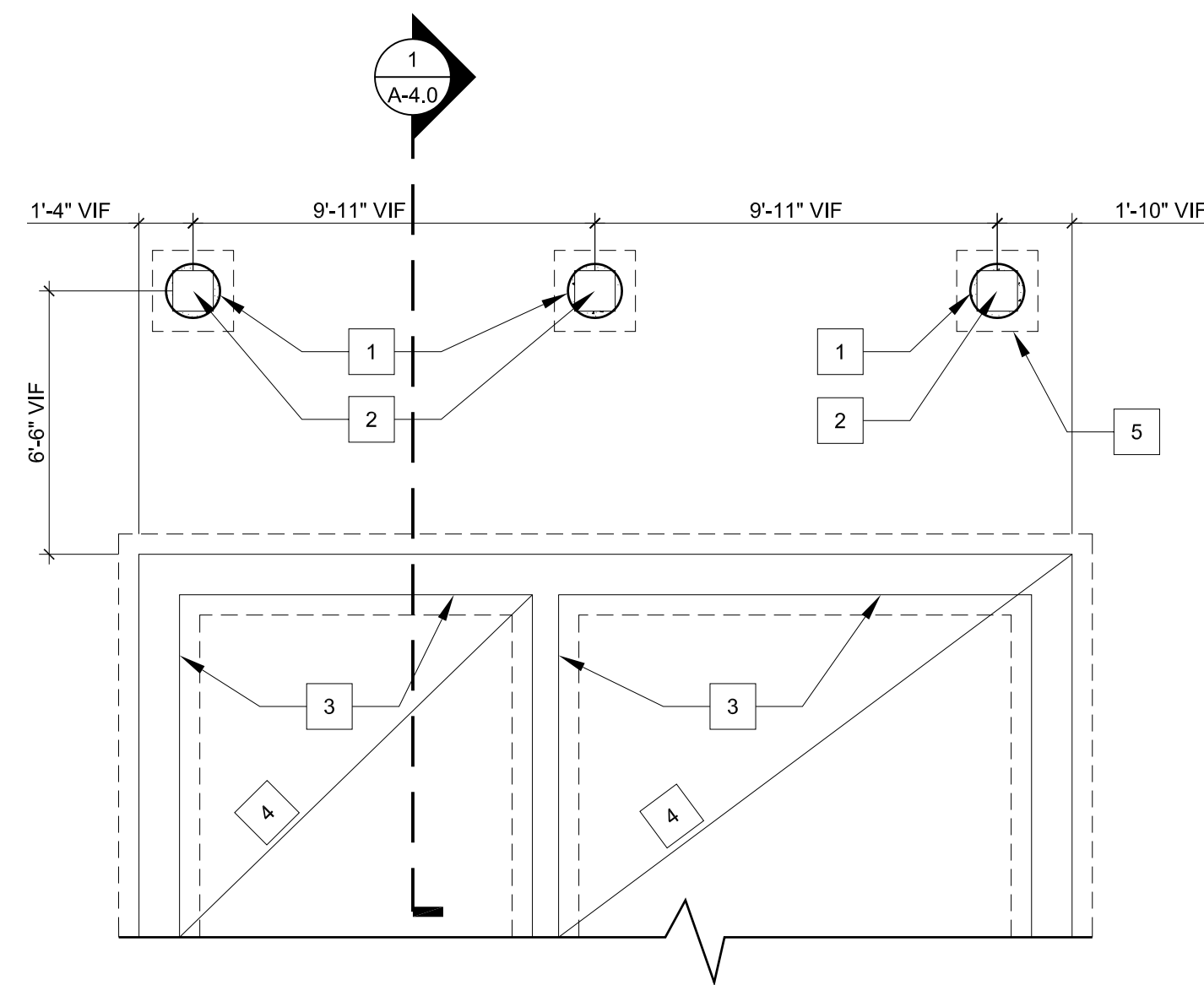


3 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



4 NEW SECOND FLOOR PLAN
1/4" = 1'-0"

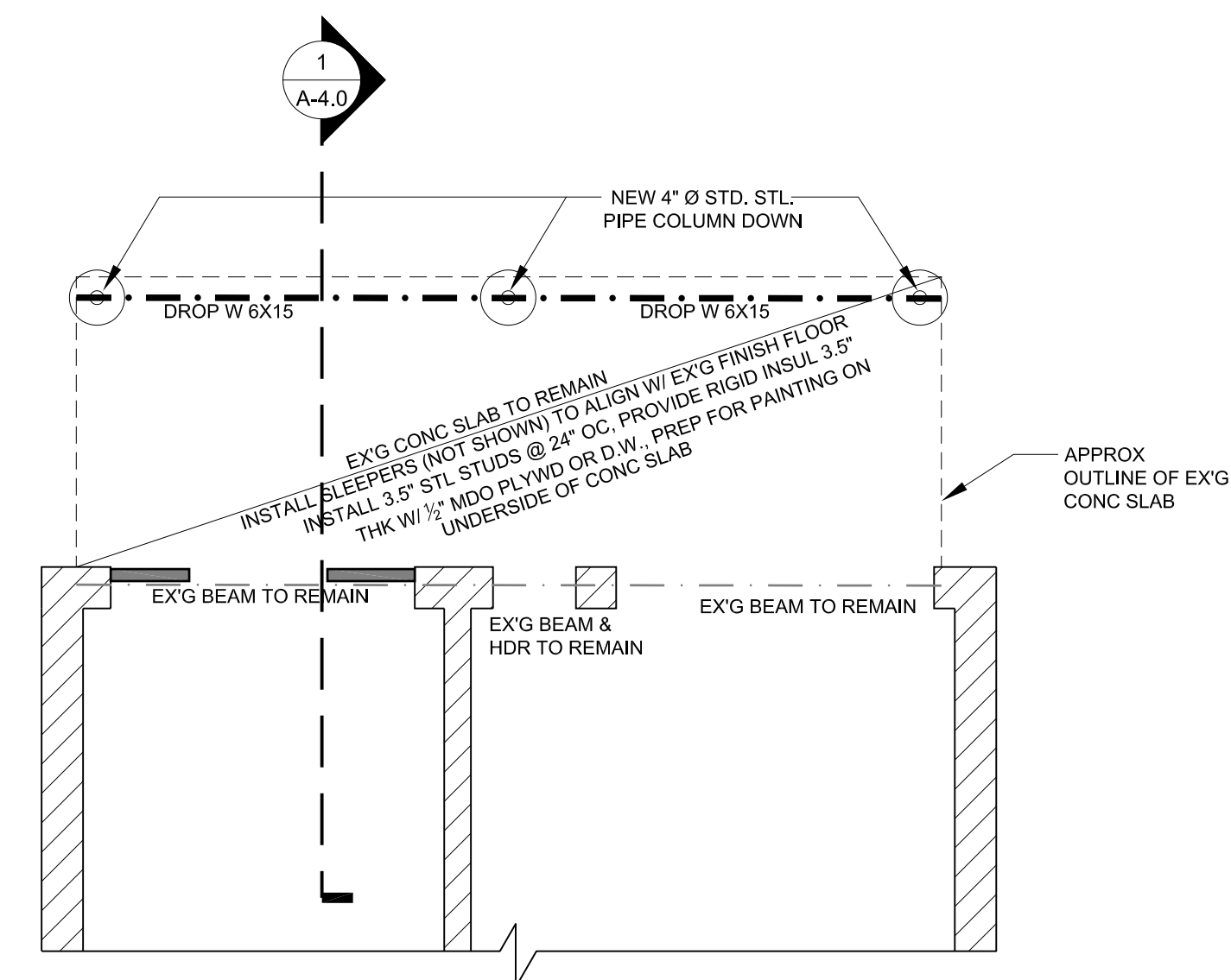
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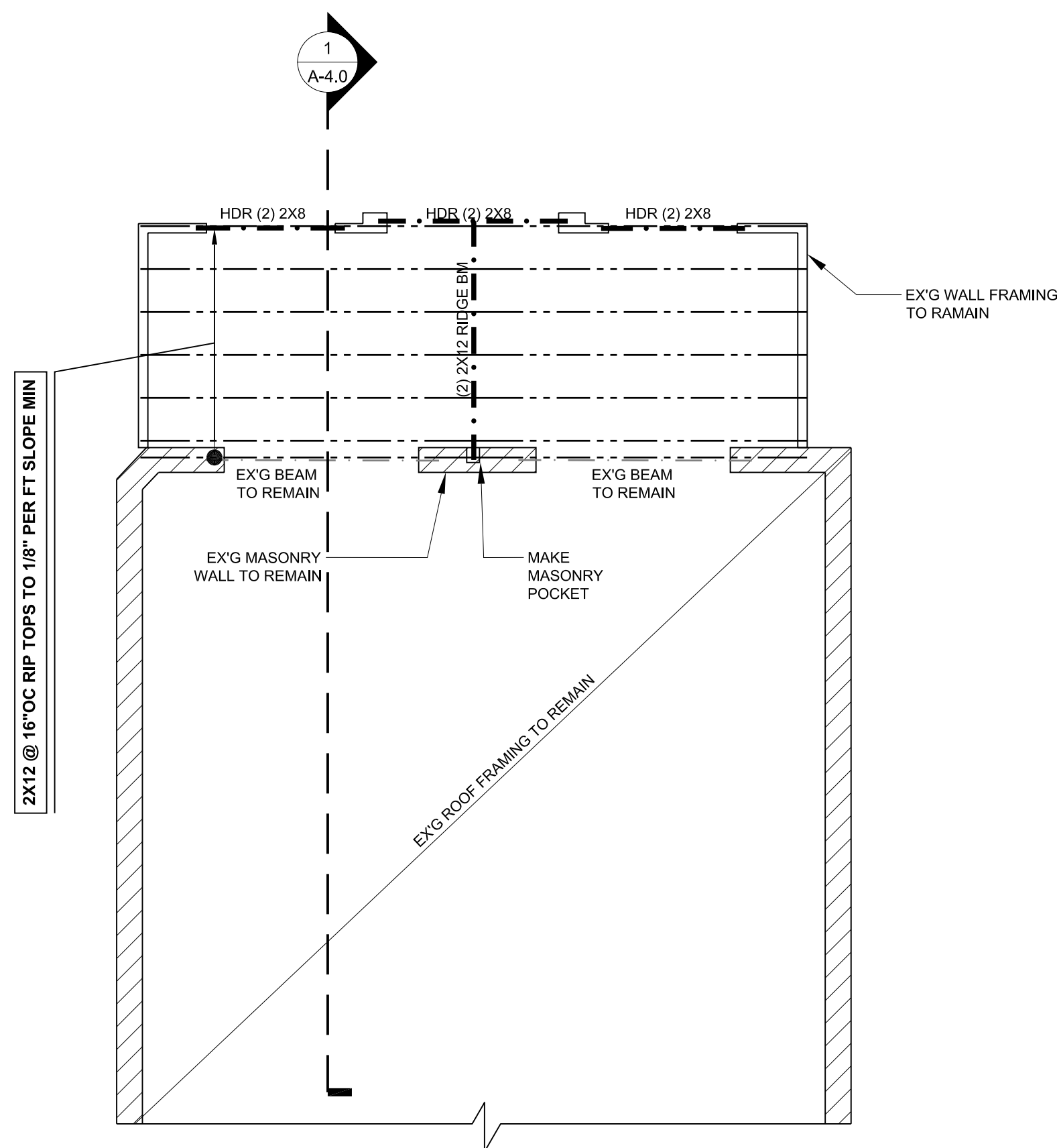
1 FOUNDATION PLAN
1/4" = 1'-0"

FOUNDATION PLAN NOTES:

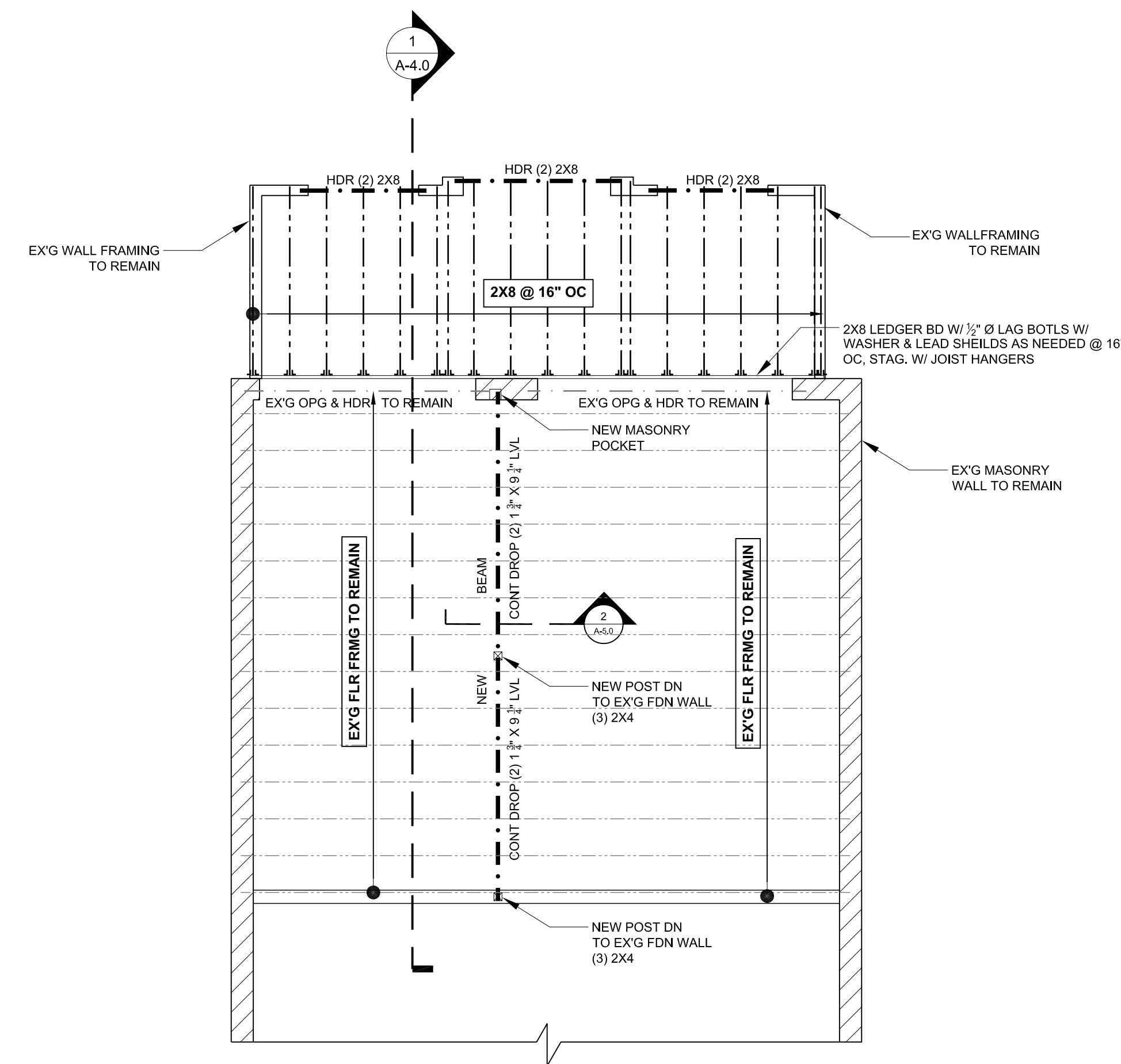
- 1 NEW 36" TALL X 16" Ø CONC PIER AROUND EX'G CONC COLUMNS - SEE DETAIL 1/A-5.0
- 2 PARTIALLY DEMO EX'G CONC COLUMN, KEEP 24-26" OF EX'G CONC COLUMN ABOVE EX'G CONC SLAB
- 3 EX'G MASONRY FDN WALL W/ FTG TO REMAIN
- 4 EX'G CONC SLAB TO REMAIN
- 5 EX'G CONC POST FTGS TO REMAIN UNDISTURBED



2 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



4 ROOF FRAMING PLAN
1/4" = 1'-0"



3 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

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SHEET NUMBER
A-1.0
OF 6 TOTAL

SHEET TITLE
FOUNDATION, FIRST, SECOND AND ROOF FRAMING PLANS

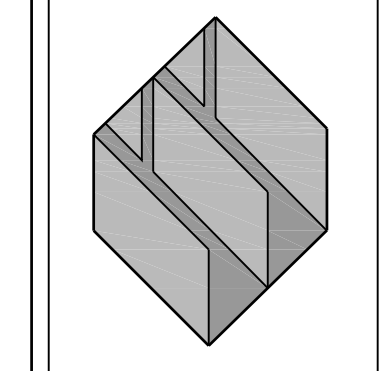
SHEET SCALE
X=1'-0"
OR AS NOTED

PHASE	DATE	REVISIONS
REVIEW	8-25-06	
REVIEW	9-15-06	
PRELIM.D.	10-25-06	
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PERMIT	12-19-06	

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PROJECT TITLE
SALVATORE AND ELAINE ALFANO RESIDENCE
5557 16TH ST NW
WASHINGTON, DC 20010-3041

BUILDER
MARK IV
A TRADITION OF FINE HOMEBUILDING AND REMODELING



PHASE	DATE	REVISIONS
REVIEW	8-25-06	
REVIEW	9-15-06	
PRELIM. D.	10-25-06	
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PERMIT	12-19-06	

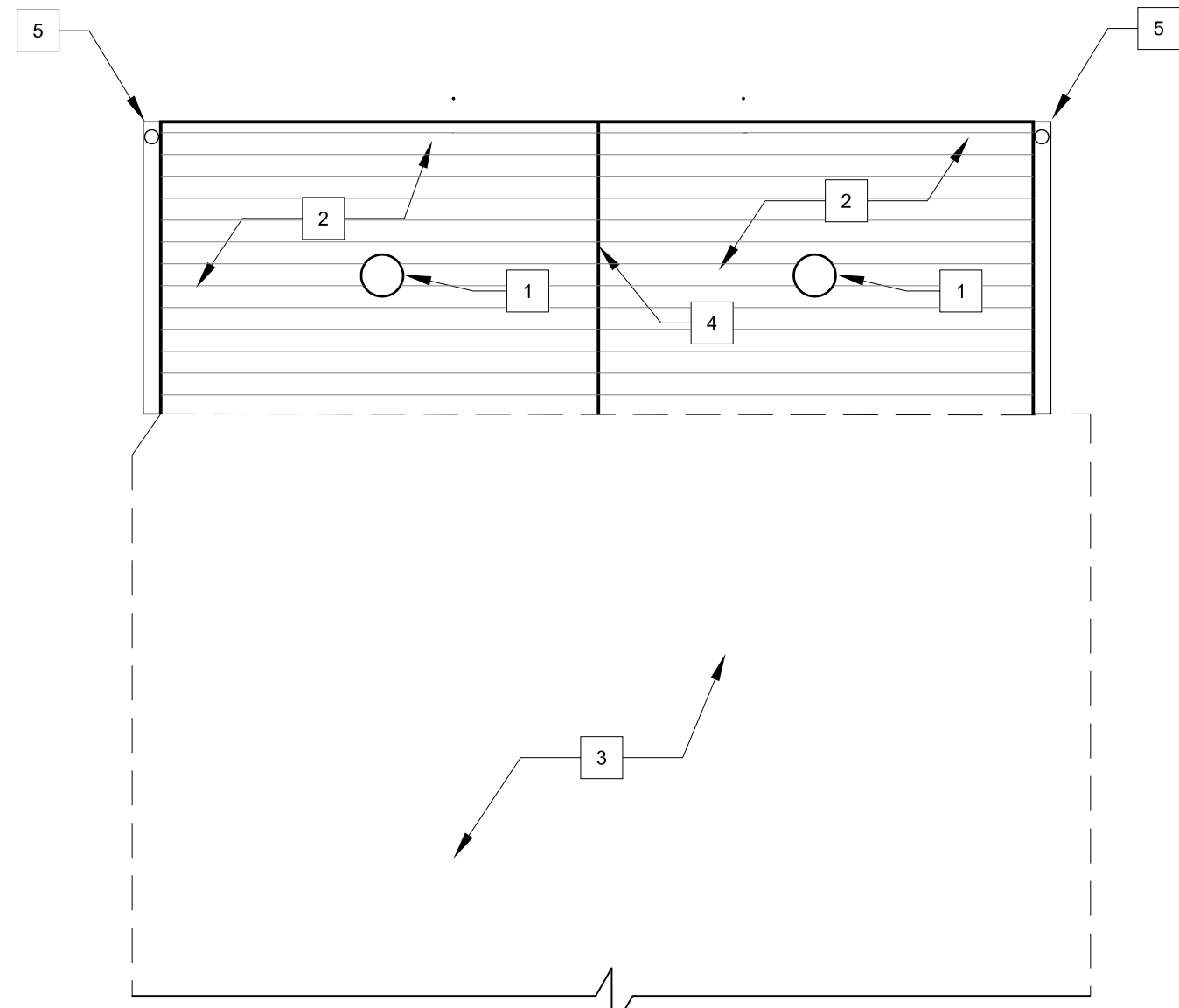
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5557 16TH ST NW
WASHINGTON, DC 20010-3041

BUILDER
MARK IV
A TRADITION OF FINE HOMEBUILDING AND REMODELING

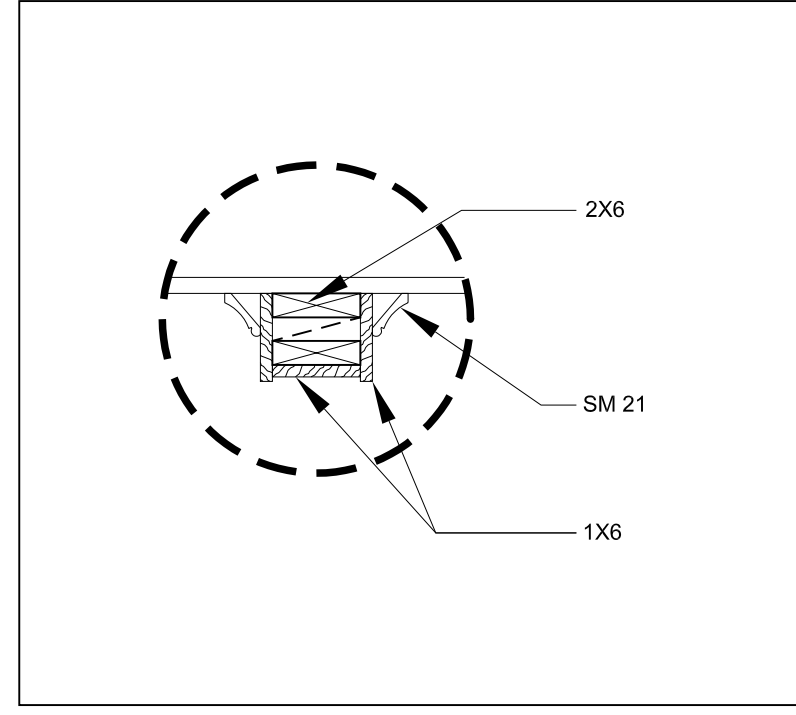
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ROOF PLAN NOTES:

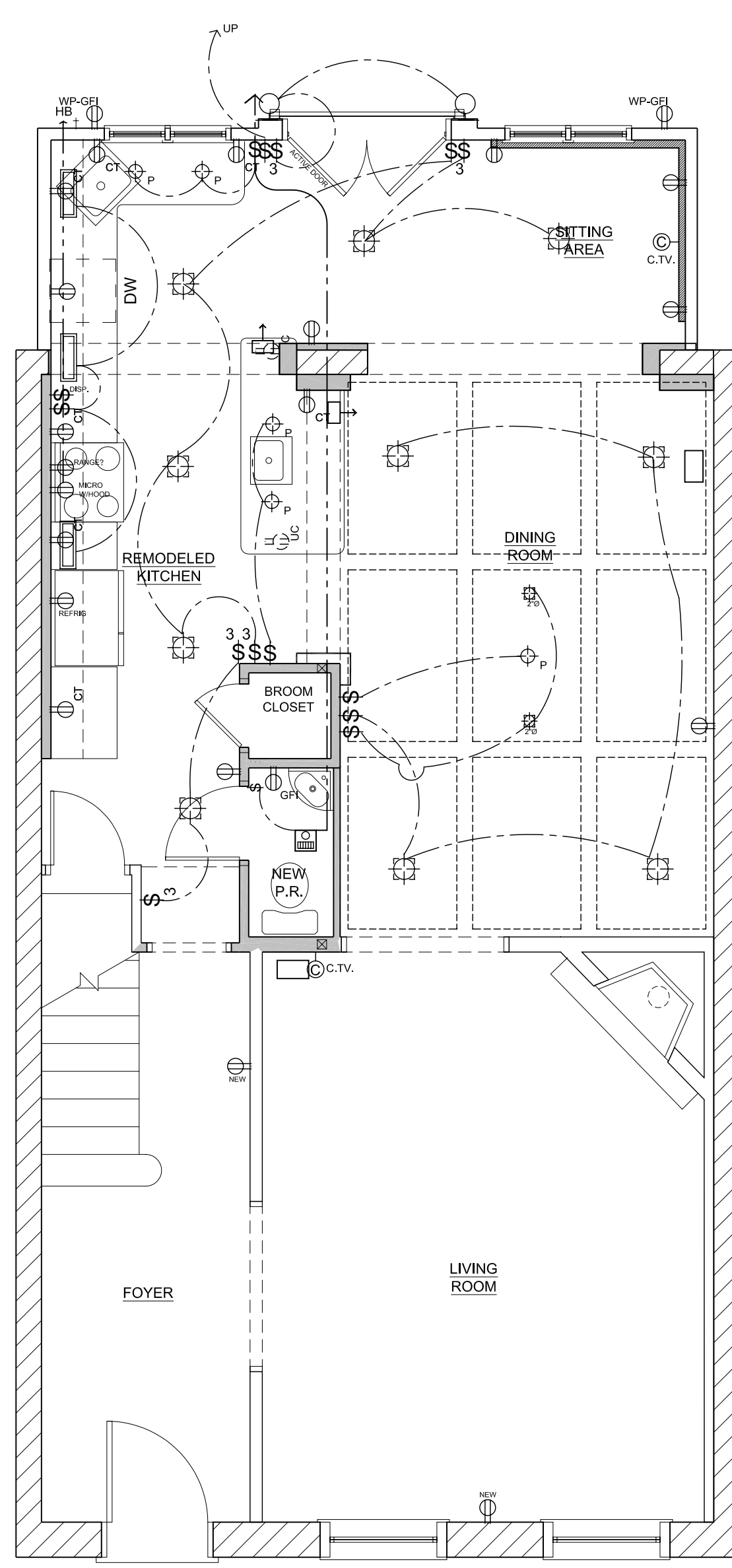
- 18" WIND TURBINE FOR ROOF VENTILATION
- NEW RUBBER ROOF PBS, 1/2" PER FT MIN
- EXISTING ROOF TO REMAIN
- PROVIDE FLASHINGS AT ALL NEW ROOF TO EX'G ROOF/WALL CONNECTIONS
- RIDGE LINE
- GUTTERS & SPOUTS PBS



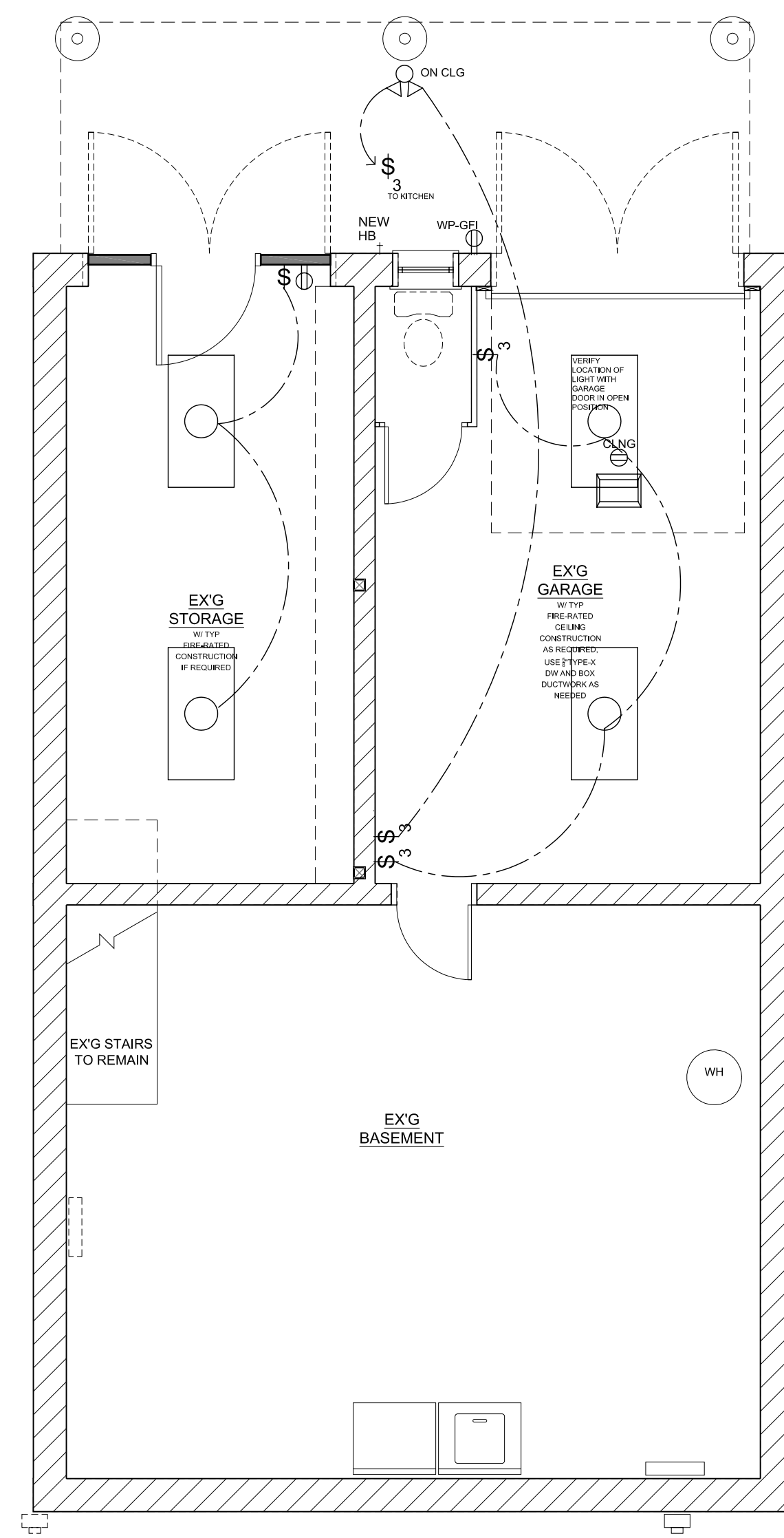
1 ROOF PLAN
1/4" = 1'-0"



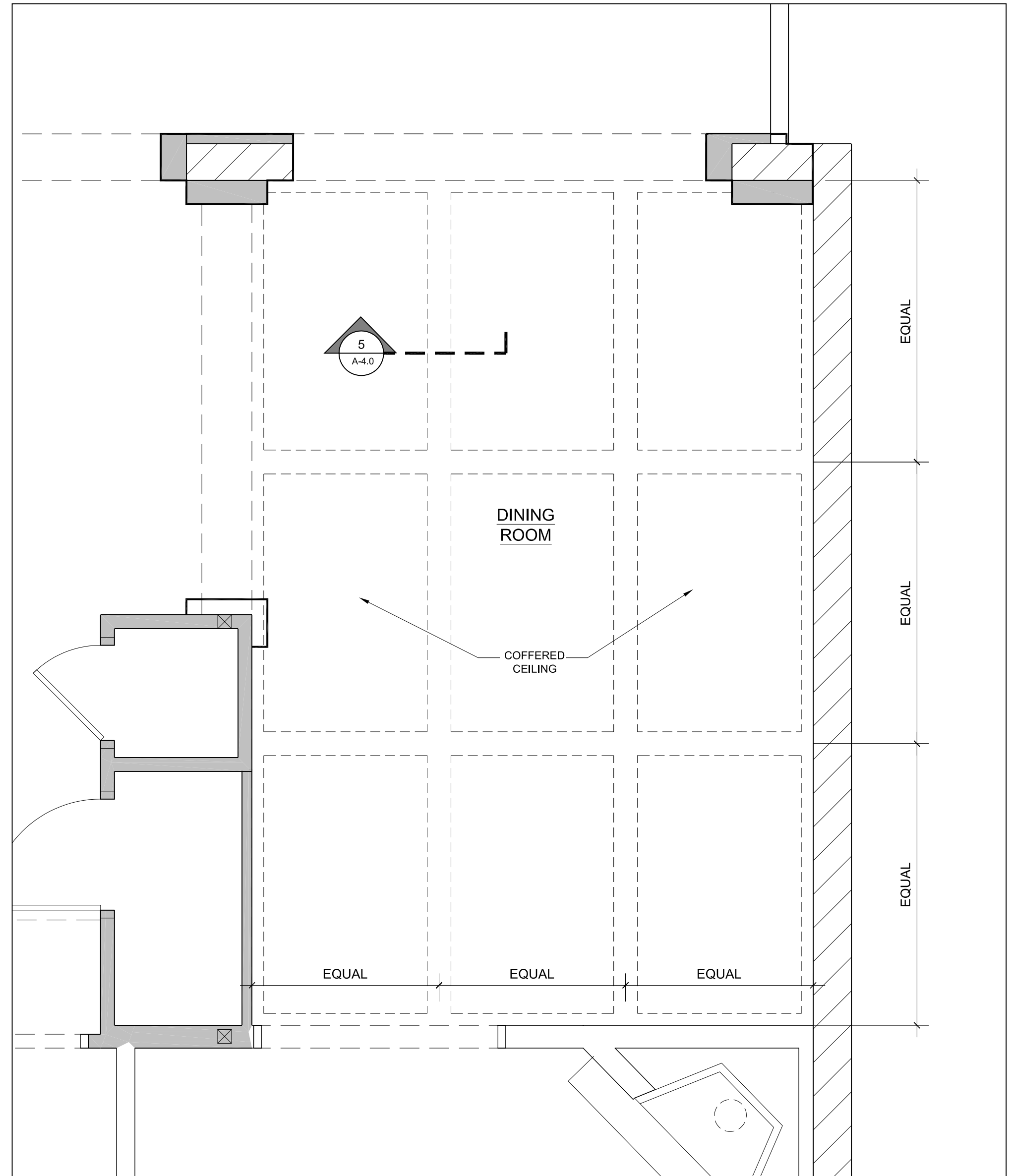
5 DECORATIVE CEILING BEAM DETAIL
1" = 1'-0"



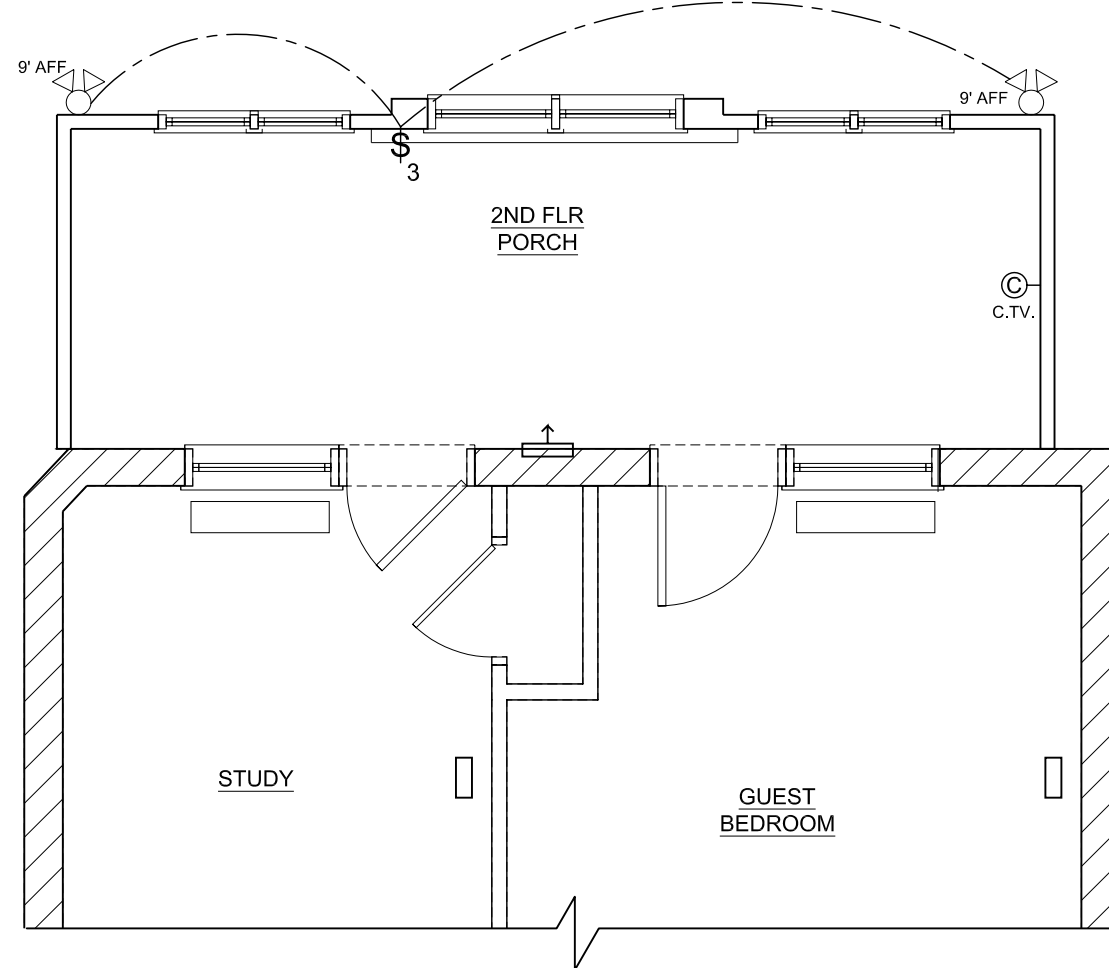
3 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



4 BASEMENT FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



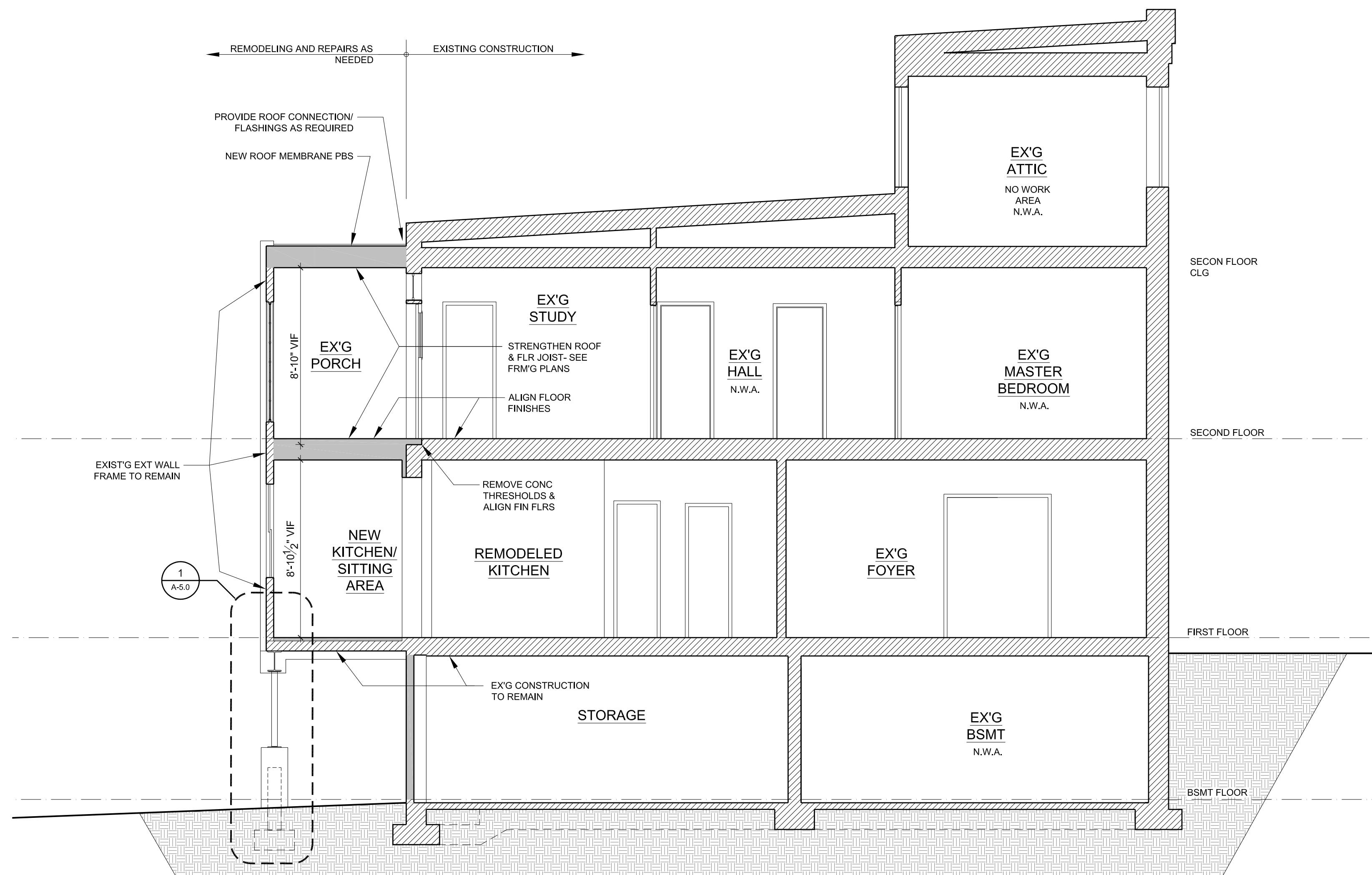
2 DECORATIVE FIRST FLOOR CEILING PLAN
1/2" = 1'-0"



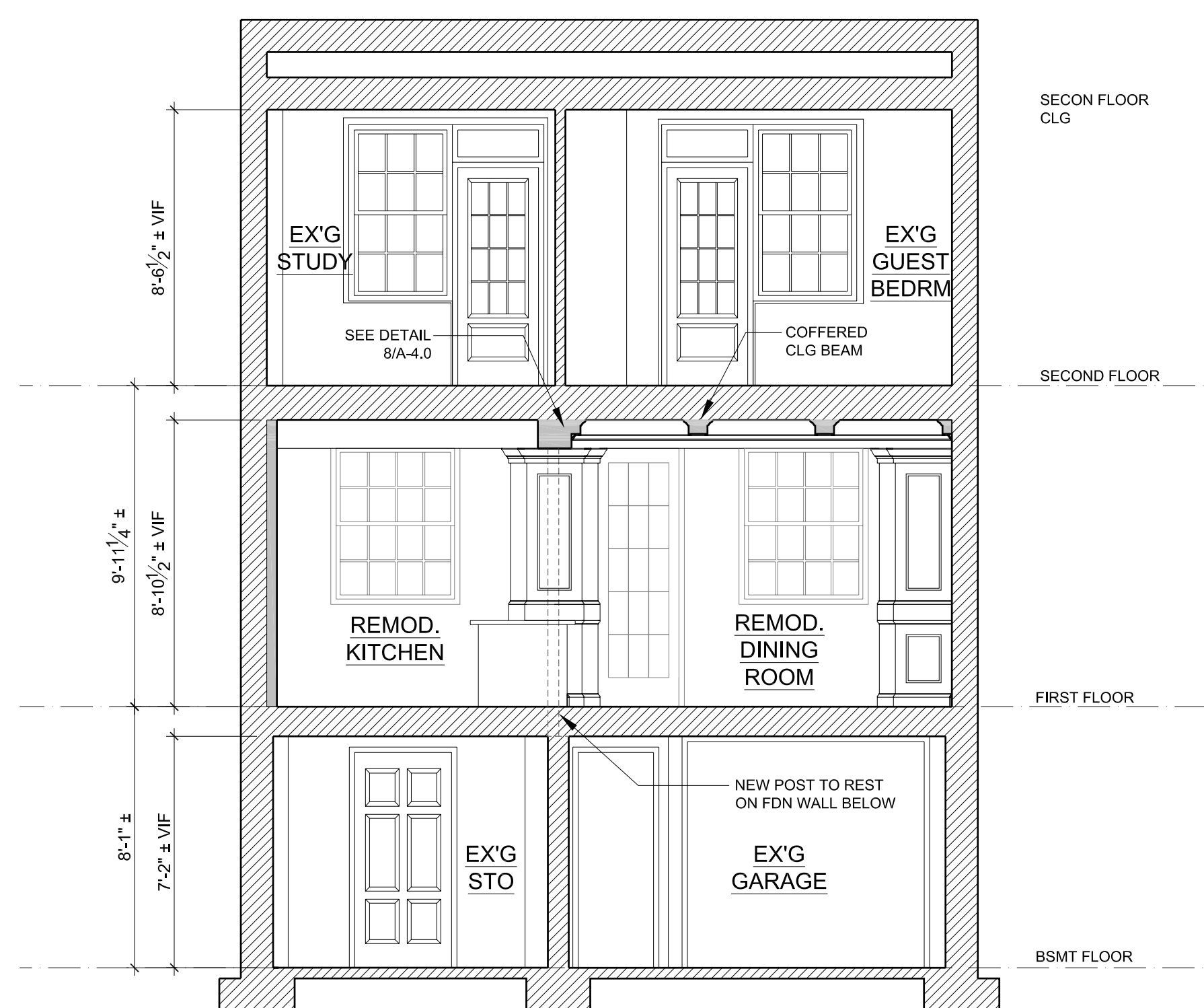
6 SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL LEGEND			
Ⓢ	SWITCH	Ⓢ	SPEAKER
Ⓢ ₃	THREE-WAY SWITCH	Ⓢ	THERMOSTAT
Ⓢ ₄	FOUR-WAY SWITCH	Ⓢ	SMOKE DETECTOR
Ⓢ _R	RHEOSTAT	Ⓢ	CARBON MONOXIDE DETECTOR
Ⓢ _D	DUPLEX	Ⓢ	CEILING LIGHT
Ⓢ _{GF}	GFCI DUPLEX	Ⓢ	RECESSED CEILING LIGHT
Ⓢ _{CT}	COUNTERTOP DUPLEX	Ⓢ	RECESSED EYEBALL LIGHT
Ⓢ _{1/2}	SPLIT WIRED DUPLEX	Ⓢ	WALL HUNG LIGHT
Ⓢ ₂₂₀	220 VOLT OUTLET	Ⓢ	EYEBALL LIGHT
Ⓢ _{QU}	QUADRUPLEX	Ⓢ	LANDSCAPING LIGHT
Ⓢ _{FLOOR}	FLOOR DUPLEX	Ⓢ	FLOODLIGHT
Ⓢ _{CB}	CABLE TV	Ⓢ	VENT
Ⓢ _{DB}	DOOR BELL	Ⓢ	VENT AND LIGHT
Ⓢ _{PR}	PHONE OUTLET	Ⓢ	HEAT AND LIGHT
Ⓢ _{TV}	TV OUTLET	Ⓢ	HEAT AND VENT
		Ⓢ	HEAT, VENT AND LIGHT
		Ⓢ	UC FLOURESCENT

THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.



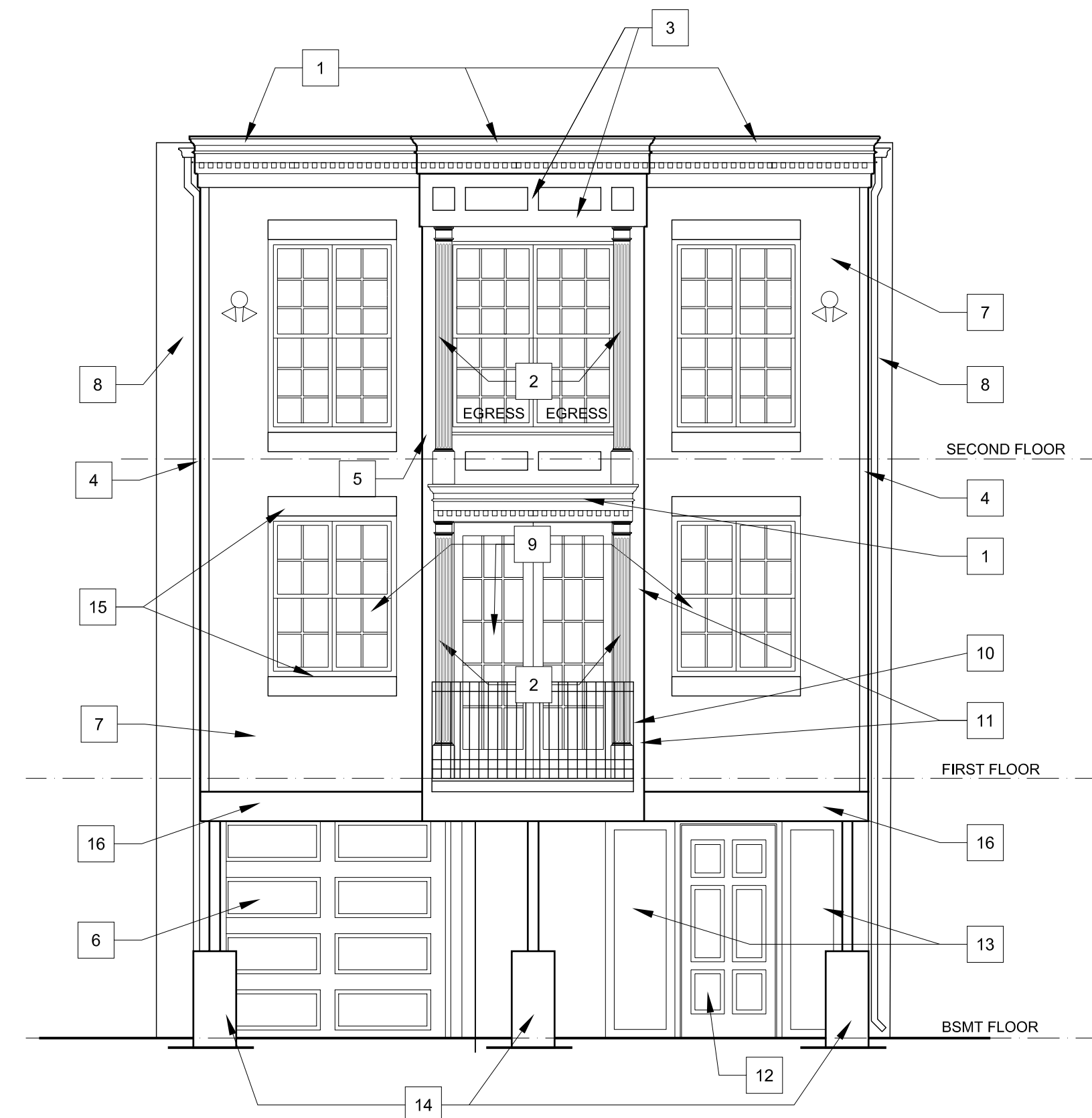
1 BUILDING SECTION
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"

ELEVATION NOTES:

- 1 ALCOA- CELLWOOD SYSTEM: MANTEL 120 W/6 3/4" H. DENTIL MOLDING BELOW. ENDCAPS TBD
- 2 ALCOA- CELLWOOD SYSTEM: DOOR SURROUND- PILASTER 96
- 3 AZEK 1 X BY. WIDTH TBD
- 4 3 1/2" VINYL CORNER BD
- 5 AZEK 1 X BY CORNER BD
- 6 NEW GARAGE DOOR PBS
- 7 SIDING PBS
- 8 EX'G BRICK BEYOND TO REMAIN
- 9 SECURITY BARS TBD
- 10 GAURD RAIL SYSTEM PER CODE
- 11 AZEK 3/4" PANEL ON ENTIRE BAY
- 12 NEW STL DOOR
- 13 HARD-PANEL TBD
- 14 REPAIRED CONC PIERS
- 15 AZEK 1 1/2 X 8 WINDOW HEADS AND SILLS- TYP.
- 16 AZEK 1 1/2 X 12 SKIRT BD W/ AZEK DRIP CAP



2 REAR ELEVATION
1/4" = 1'-0"

SHEET NUMBER
A-4.0
OF 6 TOTAL

SHEET TITLE
REAR ELEVATION AND BUILDING SECTIONS

SHEET SCALE
X=1'-0"
OR AS NOTED

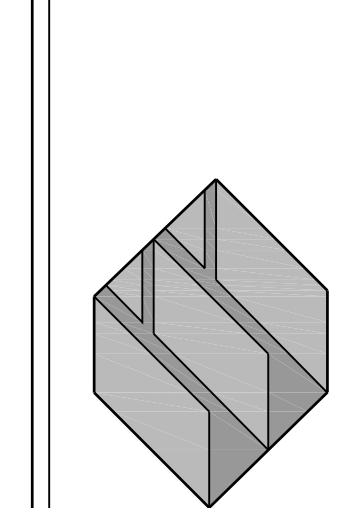
PHASE	DATE
REVIEW	8-25-06
REVIEW	9-15-06
REVIEW	10-25-06
TRADE D	11-14-06
PERMIT	12-19-06

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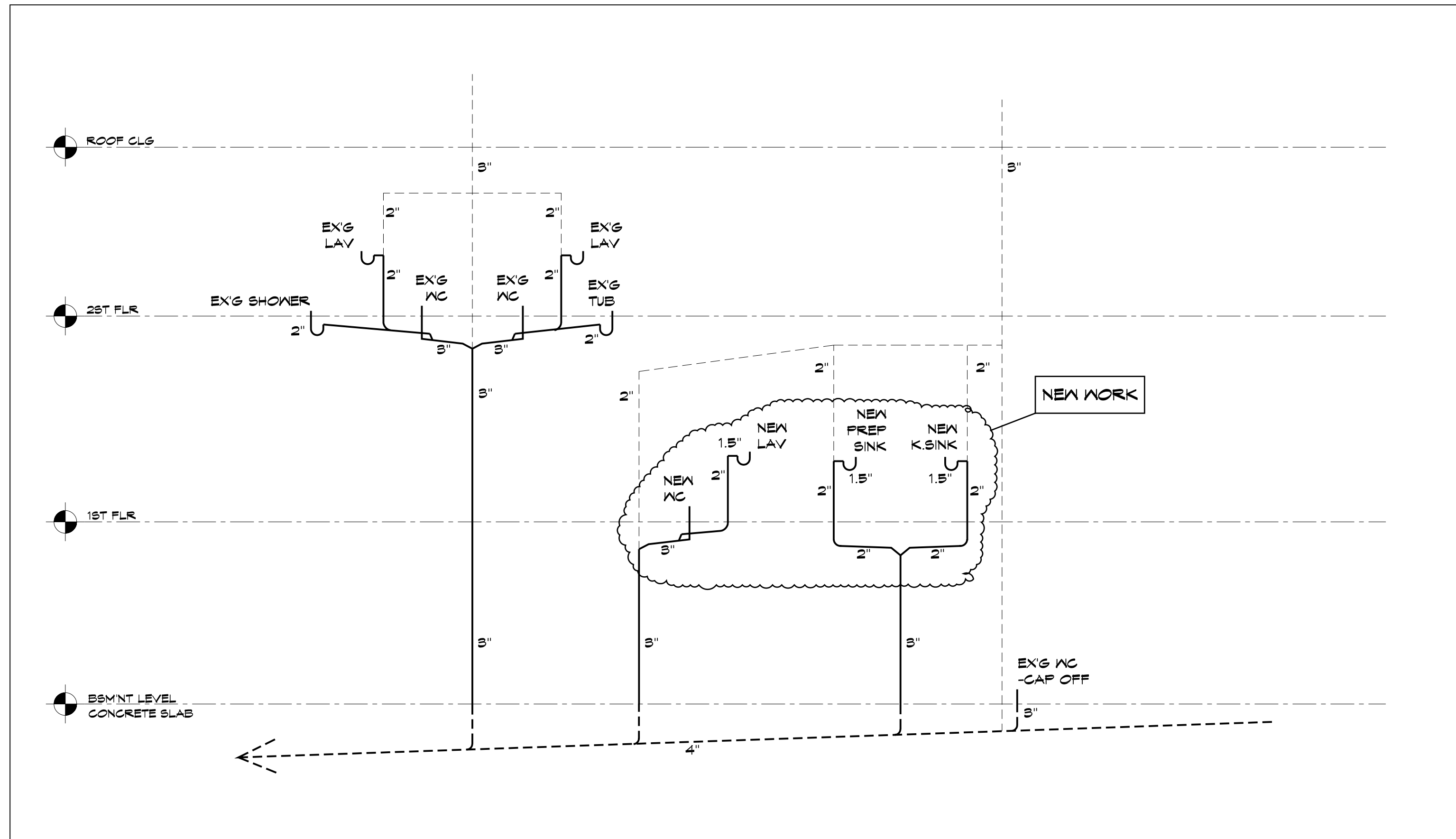
PROJECT TITLE
SALVATORE AND ELAINE ALFANO RESIDENCE
9557 16TH ST NW
WASHINGTON, DC 20010-3041

BUILDER

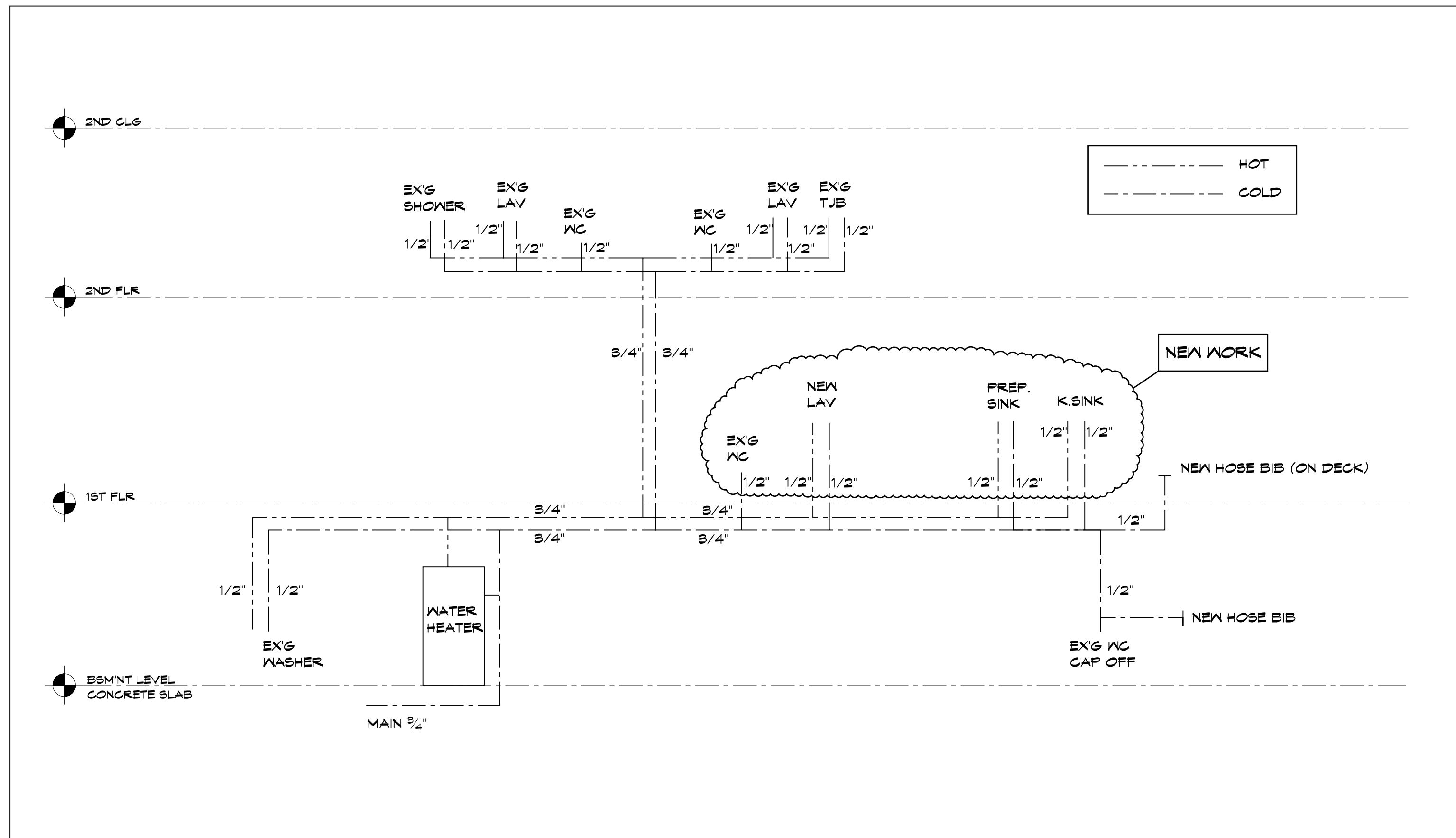
MARK IV
A TRADITION OF FINE HOMEBUILDING AND REMODELING



THESE PLANS HAVE BEEN PREPARED BY MARK IV BUILDERS SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.



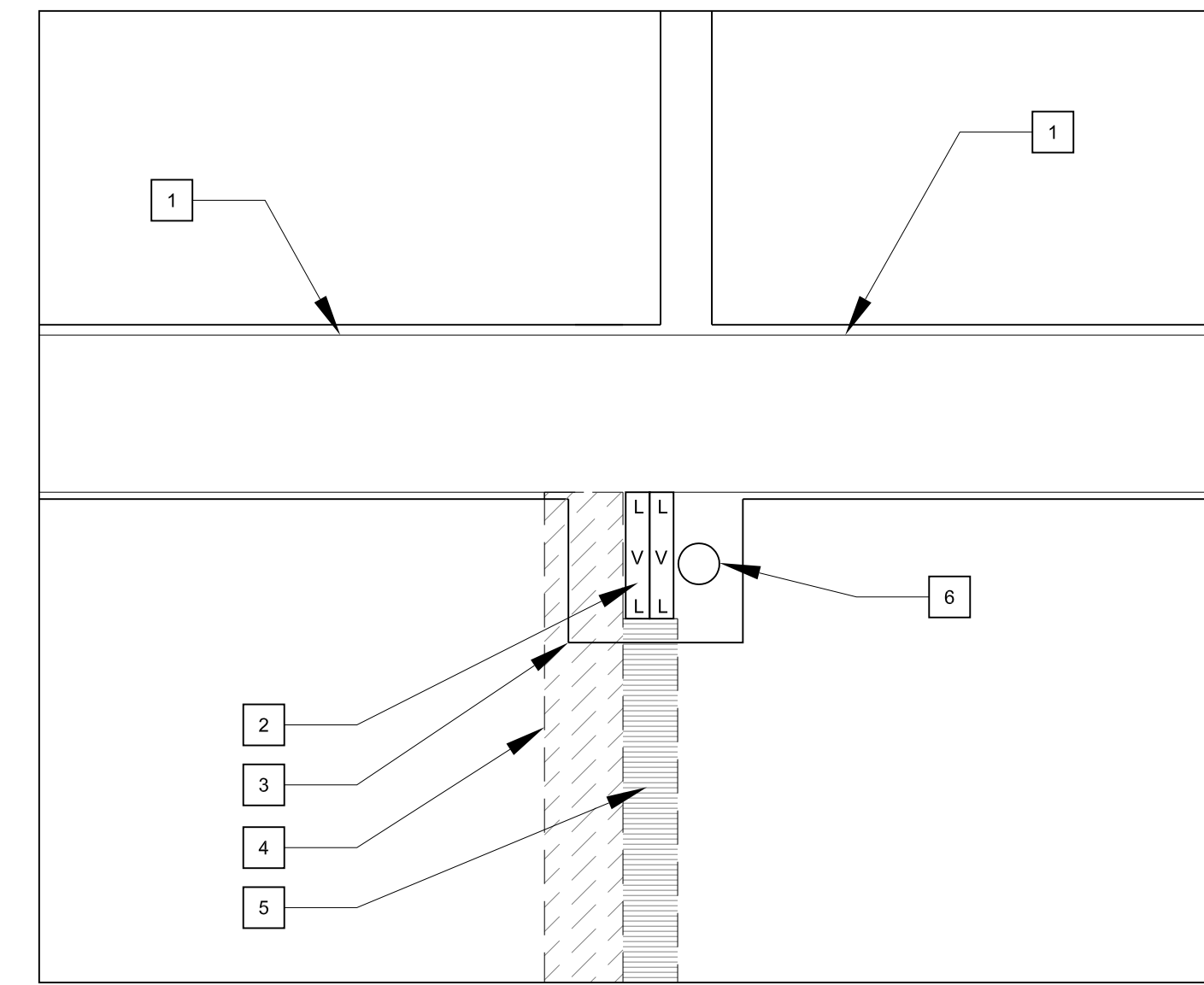
3 SANITARY SEWER RISER DIAGRAM
NTS



4 WATER RISER DIAGRAM
NTS

SECTION DETAIL NOTES:

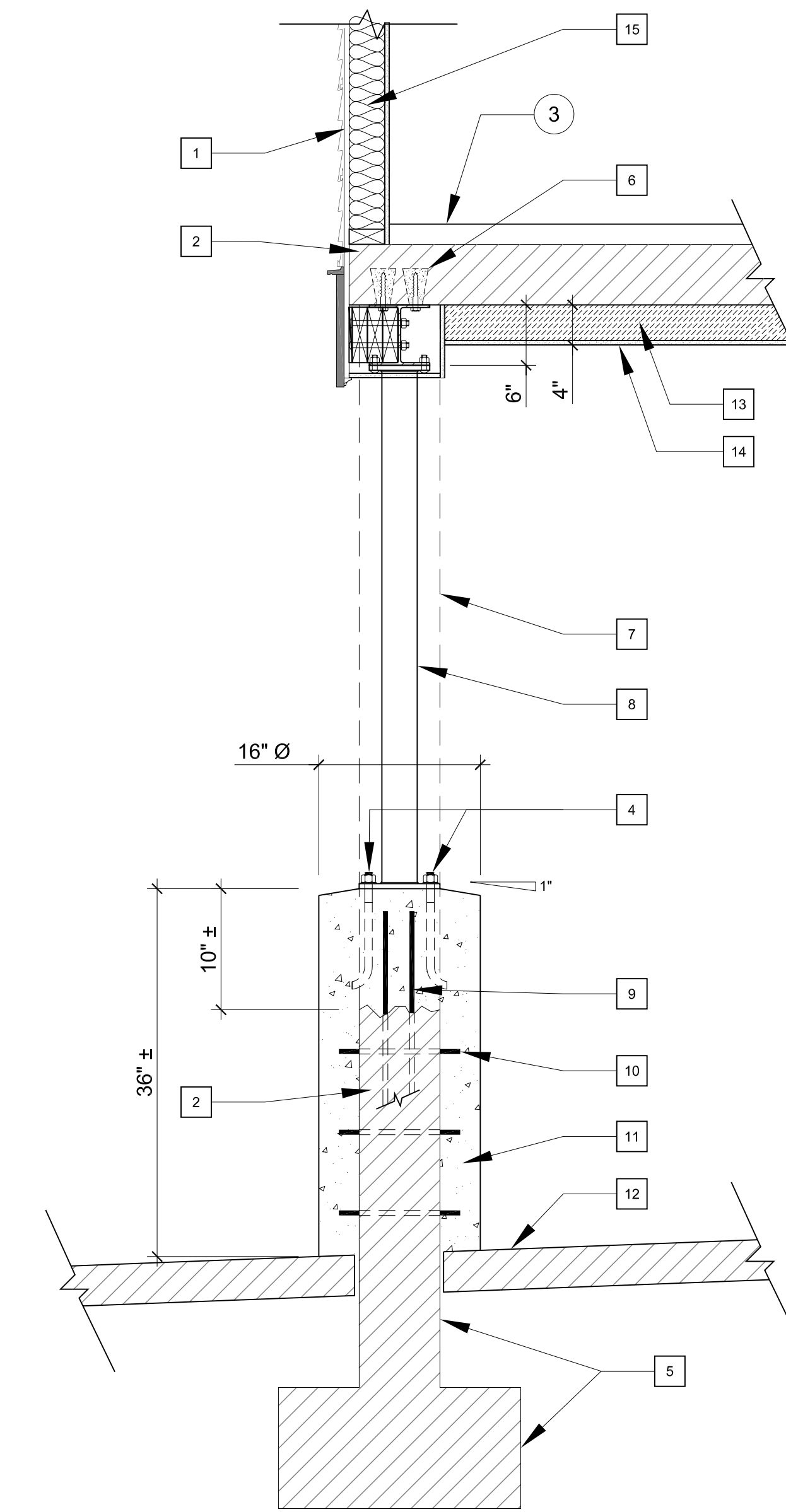
- EXG SECOND FLOOR JOIST
- (2) 1 1/2" X 9 1/2" LVL
- OUTLINE OF THE BULKHEAD OVER KITCHEN ISLAND
- EXG BRG WALL REMOVED
- POST BEYOND DN TO EXG FDN WALL BELOW
- 3"-4" Ø BATH EXHAUST DUCT TO OUTSIDE



2 KITCHEN BULKHEAD DETAIL
1" = 1'-0"

PORCH COL. REPLACE. NOTES:

- NEW WALL FINISH TO CONCEAL NEW STL BEAM
- EXG CONC REPAIRS AT SLAB EDGE & REMAINING POST; REMOVE ALL CRACKED, SPALLING & DAMAGED CONC DOWN TO SOUND CONC & REPAIR W/ APPROPRIATE BONDING AGENT & COVER W/ APPROPRIATE CEMENTIOUS/ CONCRETE MATERIAL
- PT SLEEPERS ANCHORED TO EXG CONC SLAB 16" OC W/ RIGID INSULATION IN BETWEEN NEW FINISH FLR TO ALIGN W/ EXG FINISH FLR
- #3 HOOP ANCHOR BOLTS
- EXG CONC COLUMN & FOOTING TO REMAIN
- CONC EPOXY ANCHORS INTO EXG SLAB @ 4" OC, STAG.
- EXG (3) CONC COLUMNS TO BE CAREFULLY DEMO'D & REMOVED. DEMO CREW MUST PROVIDE ADEQUATE TEMPORARY SHORING DURING COLUMN REPLACEMENT. REMOVE ALL STRUCTURE ABOVE EXG CONC SLAB PRIOR TO START OF DEMO OF COLUMNS.
- (3) NEW STEEL PIPE COLUMNS; USE 4" Ø STD STL PIPE W/ STL TOP BRG SQ PLATE 6"X6"X 1/2" THK W/ (4) 3/8" Ø BOLTS, NUT & WASHER W/ STL BOT BRG ROUND PLATE 6"Ø X 1/2" THK W/ (4) GALV #3 HOOP 3" Ø X 8" LONG W/ NUT & WASHER W/ MIN 6" EMBED
- EXG STL REINF TO REMAIN, CUT AS NEEDED TO INSURE MIN 3" COVER BY NEW CONC
- NEW #4 BARS X 10" LONG @ 8" OC (VERTICAL)
- (3) NEW CONC PIERS ± 16" Ø ROUND X 36" ABV EXG GRD. (FORM NOT SHOWN) W/ 3000 PSI CONC MIN
- EXG CONC SLAB TO REMAIN AS IS
- 3 1/2" RIGID INSULATION W/ 3 1/2" STL CHAN. @ 24" OC ATTACHED TO EXG CONC SLAB (R17.5)
- 1/2" EXT. D.W.
- EXISTING EXTERIOR WALL FRAMING TO REMAIN - TYP - INSTALL R15 F.BATT INSUL.
- AZEK 5/4 X 12 & DRIP. PROVIDE ALL FLASHINGS AS REQUIRED AT ALL LOCATIONS



1 PORCH COLUMN REPLACEMENT DETAIL
1" = 1'-0"

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SHEET NUMBER		A-10.0	
OF 6 TOTAL			
SHEET TITLE			
WALL SECTION DETAILS AND PLUMBING RISER DIAGRAMS			
SHEET SCALE			
X=1'-0" OR AS NOTED			
REVISIONS			
PHASE	DATE	REVIEW	DATE
REVISION	8-25-06	REVIEW	4-15-06
PRELIM. D.	10-25-06	TRADE D.	11-14-06
PERMIT	12-19-06		

PROJECT TITLE

SALVATORE AND ELAINE ALFANO RESIDENCE
8897 16TH ST NW
WASHINGTON, DC 20010-8041

MARK IV

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